



NELL RESIDENCE



VANGUARD



PROJECT
NORTH

0402007

PROJECT INFORMATION

**NELL
RESIDENCE**

186 La Serena Loop
Horseshoe Bay, Texas 78657

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Austin, Texas 78738
512-263-8117
512-263-8127 fax

DATE 09/14/2007

REV

09/28/07 ARCHITECT/BLDR REVISIONS

10/01/07 HOA REVISIONS

11/05/07 BUILDER REVISIONS



09/14/2007

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Cover

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PROJECT

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AREA CHART	FRAME	MASONRY
GROUND FLOOR	3,557 s/f	3,751 s/f
SECOND FLOOR	1,402 s/f	1,402 s/f
TOTAL LIVING	4,959 s/f	5,153 s/f
GARAGE	1,087 s/f	1,106 s/f
COVERED PORCH (GROUND FLOOR)		576 s/f
LOGGIA		688 s/f
MAIN COURTYARD		1,243 s/f
TOTAL COVERED AREA		7,523 s/f
TOTAL SLAB		6,121 s/f

GENERAL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND ALL EXISTING ON-SITE CONDITIONS. THE CONTRACTOR SHALL REPORT TO VSI ANY ERRORS, INCONSISTENCIES OR OMISSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION.
2. REPORT AND AND ALL DISCREPANCIES, ERRORS, OR OMISSIONS IN THE DOCUMENTS TO VSI OR BUILDER PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR COMMENCEMENT OF CONSTRUCTION.
3. ALL WORK SHALL BE PERFORMED AND COMPLETED IN STRICT COMPLIANCE WITH IRC 2003 AND ALL APPLICABLE CODES AND/OR REGULATIONS HAVING JURISDICTION OVER THE WORK AND SHALL BE PERFORMED IN A GOOD WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS BY EXPERIENCED CRAFTSMEN SKILLED IN THEIR RESPECTIVE TRADES.
4. THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE DESIGN CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE PROJECT. THE GENERAL CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND TIMELY COMPLETION OF THE WORK.
5. GENERAL CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR PLANS SHOULD ANY CHANGES BE MADE TO THESE PLANS BY THE GENERAL CONTRACTOR OR ANY OF THEIR REPRESENTATIVES.
6. FINAL SELECTIONS FOR ALL FINISHES, FINISH MATERIALS, COLORS, TEXTURES, ETC. SHALL BE MADE BY THE OWNER WITH THE CONTRACTOR.
7. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS NOTED OTHERWISE.
8. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH WINDOW MANUFACTURER.
9. PROVIDE ATTIC VENTING AS REQUIRED BY LOCAL CODES.
10. TEMPERED GLASS SHALL BE USED AT WINDOWS ABOVE BATHS, SHOWERS, ANY WINDOWS IN DOORS, ANY WINDOWS WITHIN 24" OF DOORS, AND AT ALL WINDOWS GREATER THE 9 SQUARE FEET THAT ARE WITHIN 18" OF THE FLOOR.
11. ALL ANGLED WALLS 45° UNLESS OTHERWISE NOTED.
12. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. PLEASE REPORT ERRORS OR QUESTIONS TO VSI FOR CLARIFICATION.
13. MECHANICAL/ELECTRICAL AND PLUMBING SHOWN ON THE PLAN ARE SCHEMATIC AND INDICATE INTENT AND SCOPE OF WORK ONLY. EACH SUBCONTRACTOR IS RESPONSIBLE FOR INSTALLING EQUIPMENT WHICH MEETS ALL APPLICABLE CODES.
14. ALL DIMENSIONS ARE TO FACE OF FRAME UNLESS NOTED OTHERWISE.
15. ALL UNBRACED STUD WALLS IN EXCESS OF 11'-0" TALL WILL BE MIN. OF 2X6 CONSTRUCTION UNLESS OTHERWISE NOTED. ALL OTHER WOOD STUD WALLS WILL BE 2X4 CONSTRUCTION UNLESS NOTED OTHERWISE.
16. PROVIDE SOUND ATTENUATING BATTS AROUND ALL BATHROOMS AND MECHANICAL EQUIPMENT SPACES, TYPICAL.
17. VERIFY AND COORDINATE ALL HVAC AND PLUMBING VENTS, DUCTS AND REGISTERS WITH STRUCTURAL DRAWINGS AND NOTES PRIOR TO CONSTRUCTION.
18. ALL ELEVATION PLATE HEIGHTS INDICATED ARE NOMINAL DIMENSIONS.
19. DOOR LOCATIONS-UNLESS NOTED OTHERWISE, PLACE DOORS 6" FROM ADJACENT WALL OR IN CENTER OF TWO ADJACENT WALLS SUCH AS IN A HALLWAY.
20. VERIFY FINAL SLAB DROPS WITH FINAL FLOOR MATERIAL SELECTIONS BY OWNER.
21. FINAL WINDOW SIZES MAY VARY WITH MANUFACTURER CHOSEN. IF WINDOW SIZE CHANGES MORE THAN 4", PLEASE NOTIFY ARCHITECT FOR CONFIRMATION OF SIZE FOR DESIGN INTENT.
22. ROOF VENT- PLACE ALL VERTICAL PIPES TO REAR OF BUILDING WHERE POSSIBLE.
23. ROOF OVERHANGS- ALL ROOF OVERHANGS ARE MEASURED FROM THE OUTSIDE FACE OF FRAMING STUDS.

ELECTRICAL NOTES:

1. PRIOR TO THE COMMENCEMENT OF ANY WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE CONTRACT DOCUMENTS AND ALL EXISTING ON-SITE CONDITIONS. THE CONTRACTOR SHALL REPORT TO VSI ANY ERRORS, INCONSISTENCIES OR OMISSIONS PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION.
2. ALL INSTALLATIONS TO BE IN ACCORDANCE WITH LOCAL CODES, IRC 2000 AND THE NATIONAL ELECTRIC CODE 2002
3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED ELECTRICAL PERMITS AND INSPECTIONS
4. CONVENIENCE OUTLETS TO BE MOUNTED @ 12" AFF. U.N.O.
5. OUTLETS MOUNTED ABOVE CABINETS TO BE 8" ABOVE THE NOMINAL WORKING SURFACE. SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
6. REFRIGERATOR AND APPLIANCE OUTLETS TO BE 44" AFF.
7. BATHROOM OUTLETS SHALL BE GFI AND MOUNTED @ 44" AFF. OR 8" ABOVE COUNTER (IF HIGHER THAN STD. 2'-8")
8. ALL OUTLETS WITHIN 6'-0" OF WET AREA TO BE GFI
9. MICROWAVE OUTLETS SHALL BE 20 AMP SEPARATE RECEPTICAL @ 78" AFF.
10. SWITCH BOXES TO BE MOUNTED @ 54" AFF TO CENTER LINE OF BOX OR CLUSTER OF BOXES
11. ATTIC LIGHT SWITCH BOX MOUNTED @ 84" AFF
12. ATTIC LIGHT TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS
13. WASHER TO HAVE SEPARATED 20 AMP DUPLEX OUTLET @ 44" AFF.
14. DRYER TO HAVE SEPARATE 220 V 30 AMP SINGLE OUTLET @ 44" AFF.
15. ALL OUTLETS IN GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCE
16. ALL EXTERIOR OUTLETS TO BE GFI AND WEATHER PROTECTED
17. TELEPHONE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" AFF. OR 8" ABOVE COUNTER UNO), COVER PLATE, 6/C WIRE, TERMINATE NEAR PANEL
18. ALL KITCHEN OUTLETS THAT SERVE COUNTERTOPS MUST BE GFCI PROTECTED INCLUDING ISLANDS.
19. TYPICALLY LOCATE CEILING LIGHT FIXTURES, FANS, ETC. IN CENTER OF ROOM OR BEAM FLUR DOWNNS UNLESS NOTED OTHERWISE.
20. GAND ELECTRICAL SWITCHES WHERE POSSIBLE.
21. ALL BATHROOMS MUST HAVE SEPARATE 20 AMP BRANCH CIRCUIT.
22. LAUNDRY ROOM TO HAVE SEPARATE 20 AMP BRANCH CIRCUIT.
23. BEDROOMS MUST BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
24. REFER TO APPLIANCE MANUFACTURER'S SPECIFICATIONS FOR ELECTRICAL REQUIREMENTS AND LOCATION.

DOOR SCHEDULE										
ID	QUANT.	LOCATION	WIDTH	HEIGHT	OPERATION	TYPE	HARDWARE	MATERIAL	FINISH	REMARKS
01	1	EXTERIOR	2'-8"	8'	SWING	PANEL	DEADBOLT	WOOD	STAIN	
02	2	EXTERIOR	3'	8'	SWING	FRENCH	DEADBOLT	WOOD	STAIN	
03	1	EXTERIOR	3'	8'	SWING	CUSTOM PANEL	DEADBOLT	WOOD	STAIN	
04	1	EXTERIOR	3'	8'	SWING	FRENCH	DEADBOLT	WOOD	STAIN	
05	1	EXTERIOR	3'	8'	SWING	PANEL	DEADBOLT	WOOD	STAIN	
06	3	EXTERIOR	5'	8'	SWING	DOUBLE FRENCH	DEADBOLT	WOOD	STAIN	
07	1	EXTERIOR	9'	8'	TRIPLE SLIDER	FRENCH	DEADBOLT	WOOD	STAIN	
08	1	EXTERIOR	16'	8'	SLIDING	DOUBLE FRENCH	DEADBOLT	WOOD	STAIN	
09	2	INTERIOR	2'	8'	SWING	PANEL	PASSAGE*	WOOD	PAINT	
10	1	INTERIOR	2'-6"	8'	SWING	ARCHTOP PANEL	PASSAGE*	WOOD	PAINT	
11	1	INTERIOR	2'-4"	5'-8"	SWING	PANEL	PASSAGE*	WOOD	PAINT	UTILITY UNDER STAIR
12	4	INTERIOR	2'-4"	8'	SWING	PANEL	PASSAGE*	WOOD	PAINT	
13	2	INTERIOR	2'-6"	8'	SWING	DOUBLE PANEL	PASSAGE*	WOOD	PAINT	
14	1	INTERIOR	2'-6"	8'	POCKET	PANEL	PASSAGE*	WOOD	PAINT	
15	8	INTERIOR	2'-6"	8'	SWING	PANEL	PASSAGE*	WOOD	PAINT	
16	1	INTERIOR	2'-8"	8'	SWING	PANEL	PASSAGE*	WOOD	PAINT	
17	1	INTERIOR	3'-6"	8'	SWING	DOUBLE PANEL	PASSAGE*	WOOD	PAINT	
18	2	INTERIOR	4'	8'	SWING	DOUBLE PANEL	PASSAGE*	WOOD	PAINT	
19	2	EXTERIOR	9'	8'	OVERHEAD	PLANK	DEADBOLT	WOOD	STAIN	
20	1	EXTERIOR	9'	10'	OVERHEAD	ARCHED PLANK	DEADBOLT	WOOD	STAIN	

* PASSAGE SETS TO CONTAIN THUMB LOCKS AT ALL BEDROOMS AND BATHROOMS, EXCEPT FOR DOUBLE DOOR LOCATIONS

WINDOW SCHEDULE						
ID	QUANT.	WIDTH	HEIGHT	TYPE	HEAD HEIGHT	REMARKS
A	2	1'-6"	2'-6"	FIXED	9'-8"	
B	4	2'	2'	FIXED	8'	
B	2	2'	2'	FIXED	9'	
C	9	2'	3'	FIXED	8'	
C	1	2'	3'	FIXED	8'-6"	
C	3	2'	3'	FIXED	9'	
D	4	2'	4'	FIXED	8'	
E	2	2'	4'-6"	CASEMENT	8'	
F	3	2'-3"	2'	FIXED ROUND TOP	10'	
G	3	2'-3"	4'-6"	FIXED	8'	
H	1	2'-6"	4'	DOUBLE CASEMENT	8'	
J	7	2'-6"	7'	FIXED ROUND TOP	9'	
L	1	3'	4'-6"	CASEMENT	8'	
M	2	3'	5'-6"	FIXED ROUND TOP	8'-6"	
N	1	3'	1'-6"	FIXED	9'-6"	
P	1	4'	2'-6"	FIXED	8'	
Q	1	4'	5'	DOUBLE FIXED	9'	
R	1	4'	6'	FIXED	20'-2"	AT STAIR
S	3	4'-6"	2'-3"	FIXED ROUND TOP	10'-3"	
T	3	4'-6"	6'-6"	FIXED	8'	
U	1	5'	6'	CASEMENT	8'	
V	3	6'	6'	DOUBLE CASEMENT	8'	
W	1	6'	9'	FIXED ROUND TOP	10'	
X	1	8'	5'	TRIPLE CASEMENT	8'	
Y	1	9'	2'-3"	TRIPLE FIXED	10'-3"	
Z	1	16'	2'	QUADRUPLE FIXED	10'	

ALL WINDOWS TO BE WOOD FRAME EXTERIOR, "RUSTIC" COLOR TO MATCH EXTERIOR RENDERINGS.



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- △ 09/28/07 ARCHITECT/BLDR REVISIONS
- △ 10/01/07 HOA REVISIONS
- △ 11/05/07 BUILDER REVISIONS



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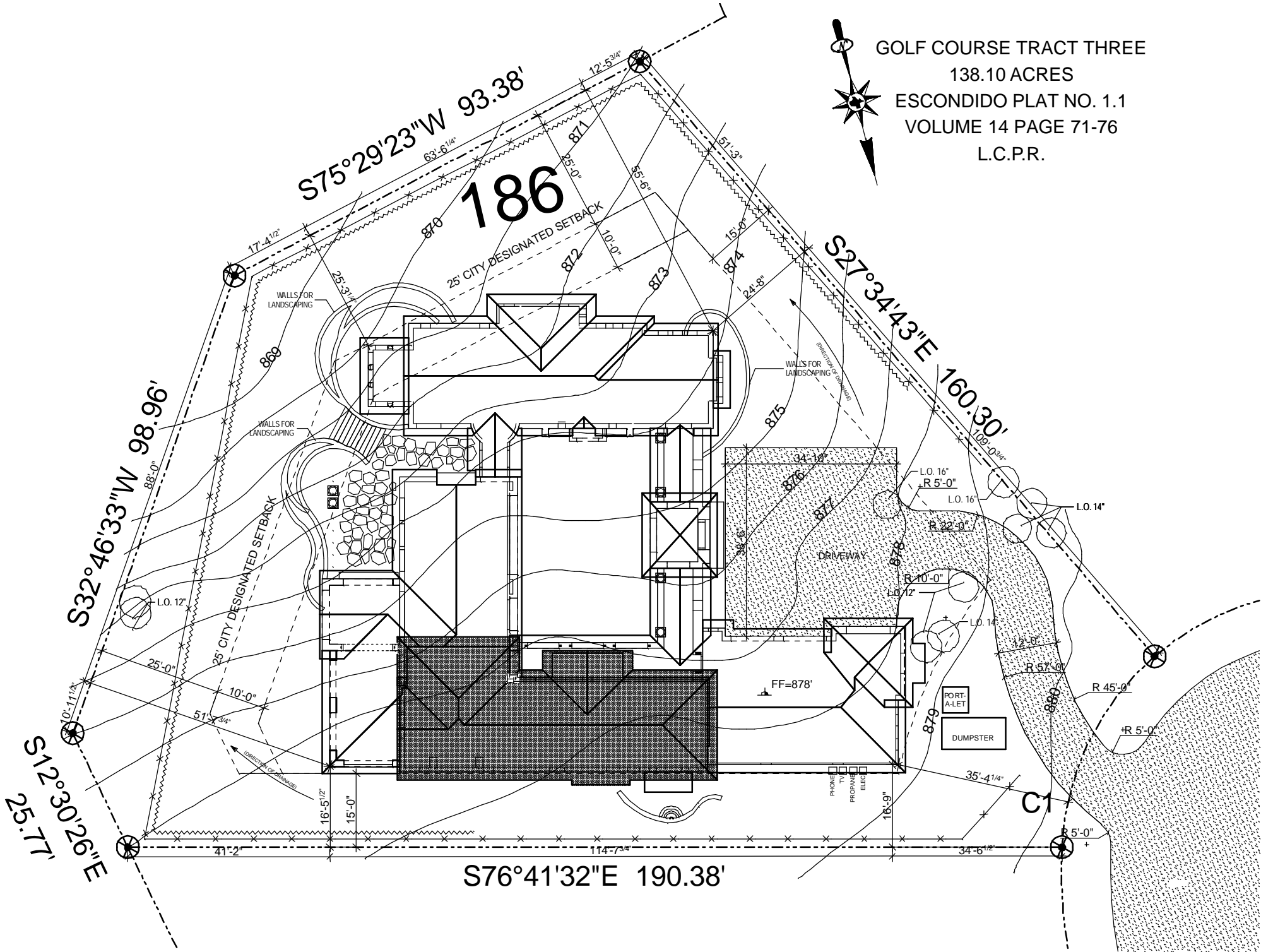
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LEGEND	
TOPO	---
PROPERTY LINES	---
SETBACKS/EASEMENTS	---
CONSTRUCTION	---
TREES (EXISTING)	---
FLATWORK/PARKING	---
UTILITIES	---
SAFETY FENCE	---
SILT FENCE	---

AREA CHART	SF.
TOTAL AREA OF PROPERTY	23,528 s/f
BUILDING FOOTPRINT AREA	6,121 s/f
WALKWAY AND DRIVEWAY AREA (SEE NOTE)	2,178 s/f
TOTAL IMPERVIOUS COVER	8,299 s/f
PERCENT IMPERVIOUS COVER:	35 %

BUILDER TO VERIFY MEETS AND BOUNDS,
BUILDING LINES AND EASEMENTS PRIOR
TO PERFORMING ANY SITE IMPROVEMENTS.



1 Site Plan
Scale: 1" = 10'-0"



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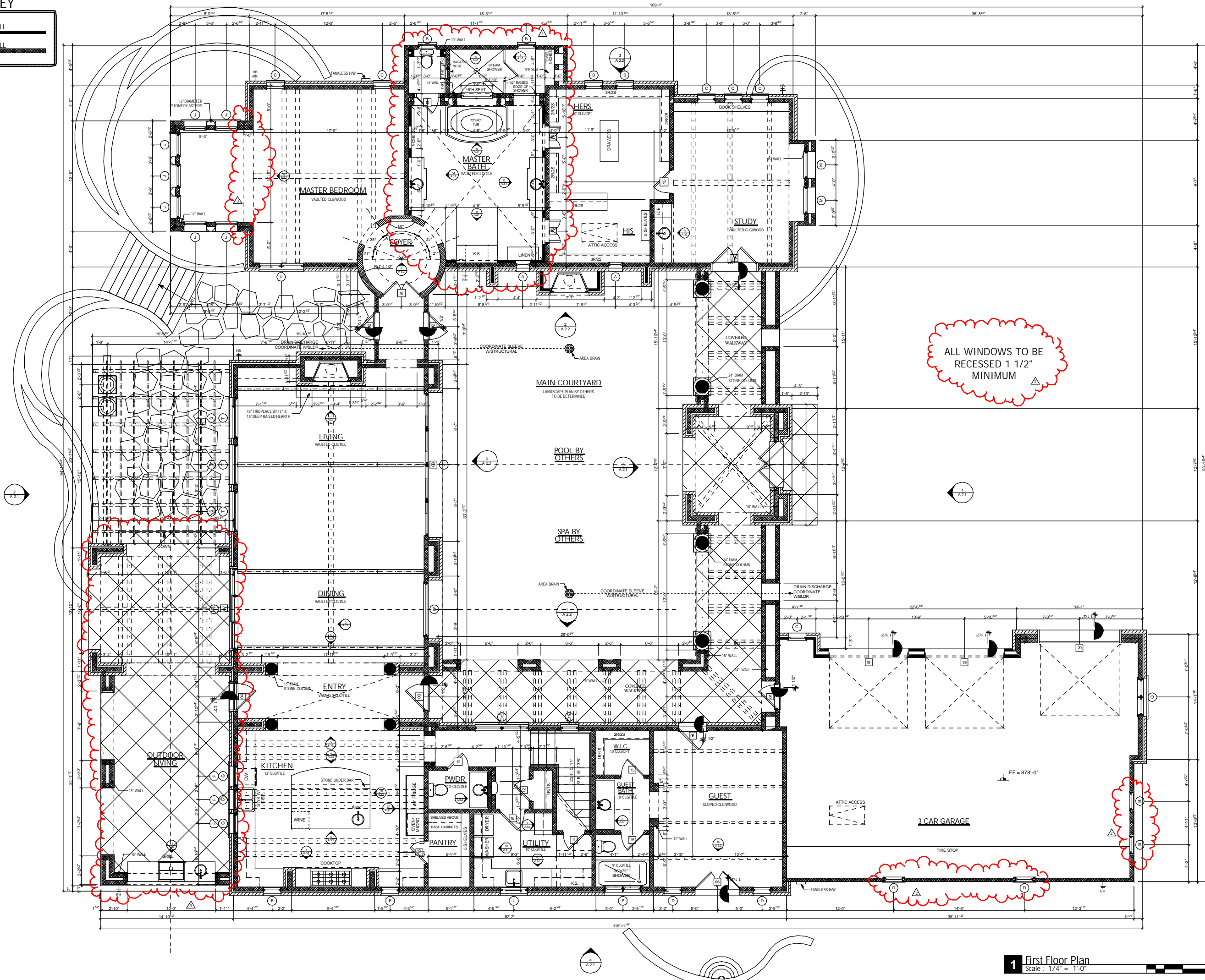
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WALL KEY

2X4 STUD WALL	
2X6 STUD WALL	



1 First Floor Plan
Scale: 1/4" = 1'-0"



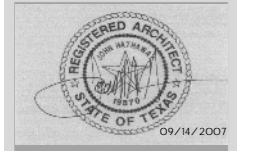
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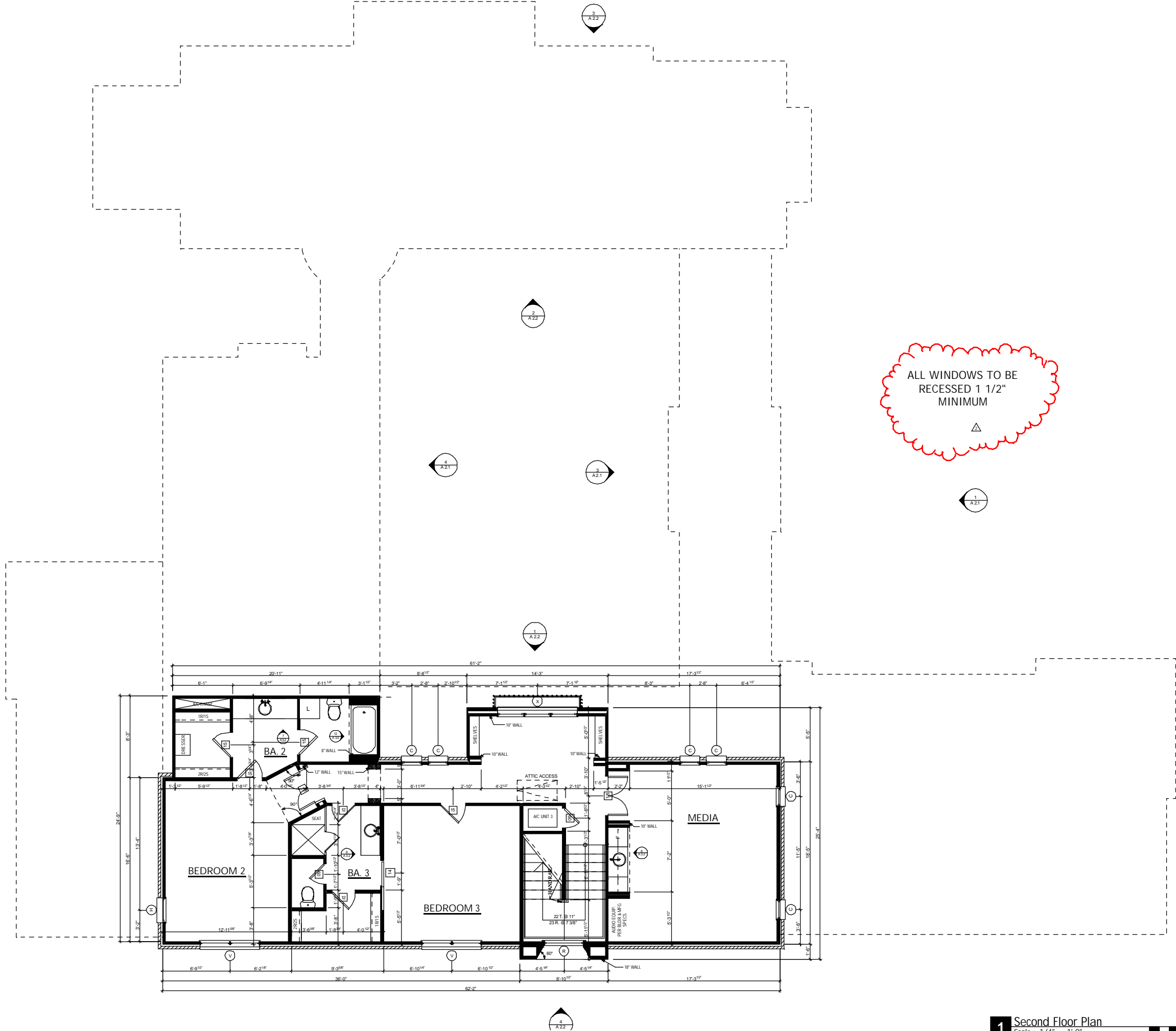


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A 1.1
First Floor Plan
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WALL KEY

2X4 STUD WALL
2X6 STUD WALL



1 Second Floor Plan
Scale : 1/4" = 1'-0"



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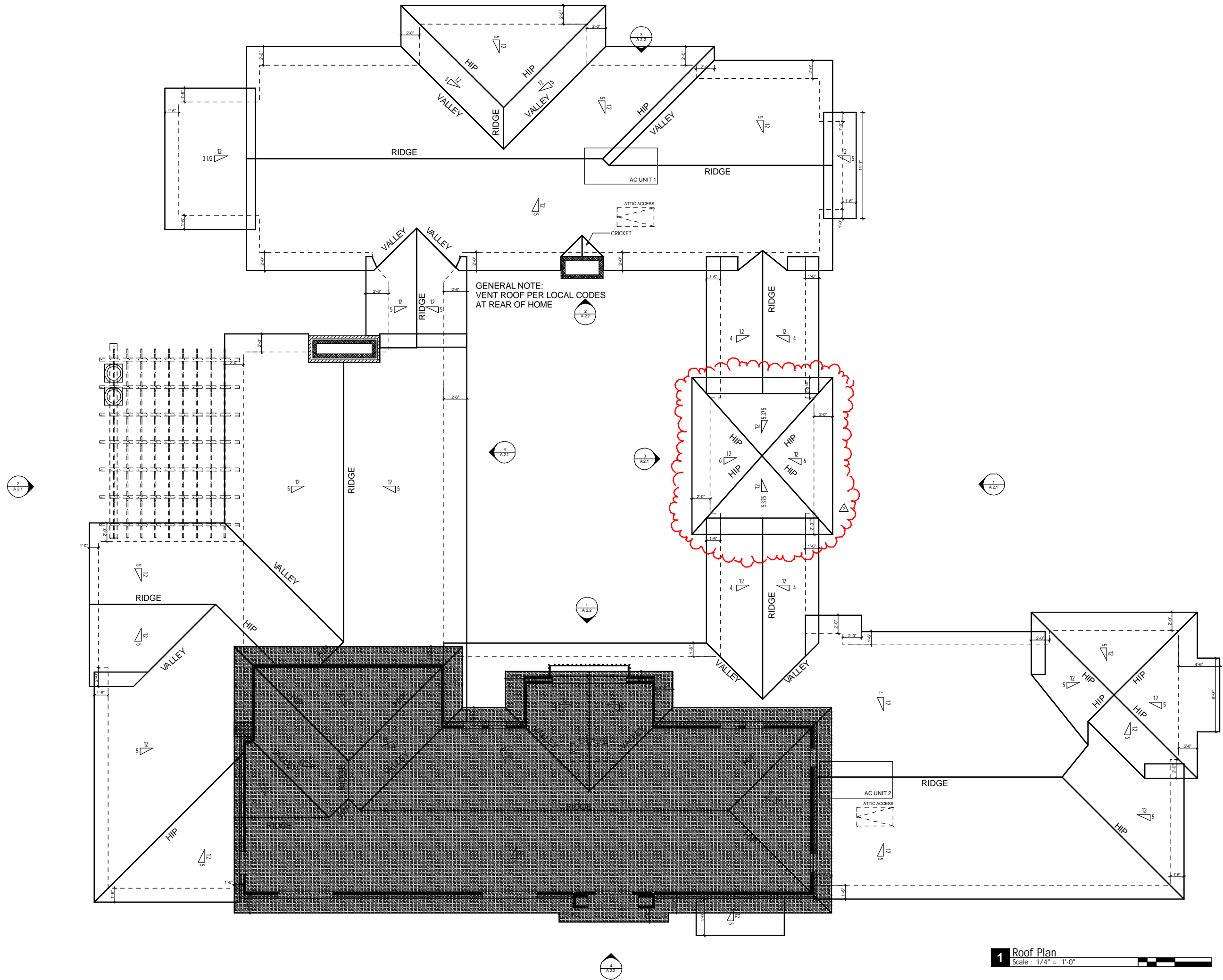
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A 1.2
Second Floor Plan

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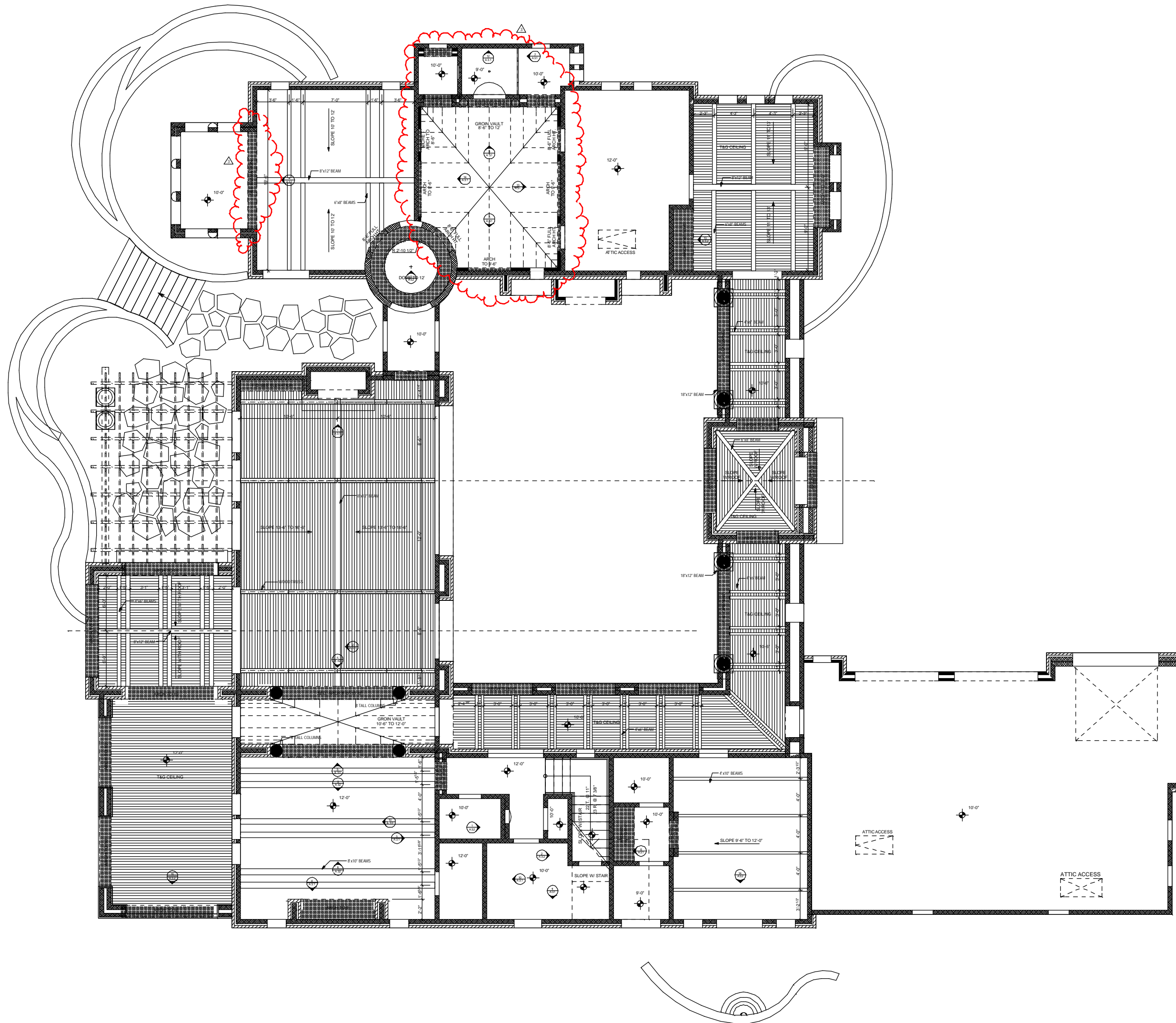
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A 1.3
Roof Plan

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1 First Floor Reflected Ceiling Plan
Scale: 1/4" = 1'-0"



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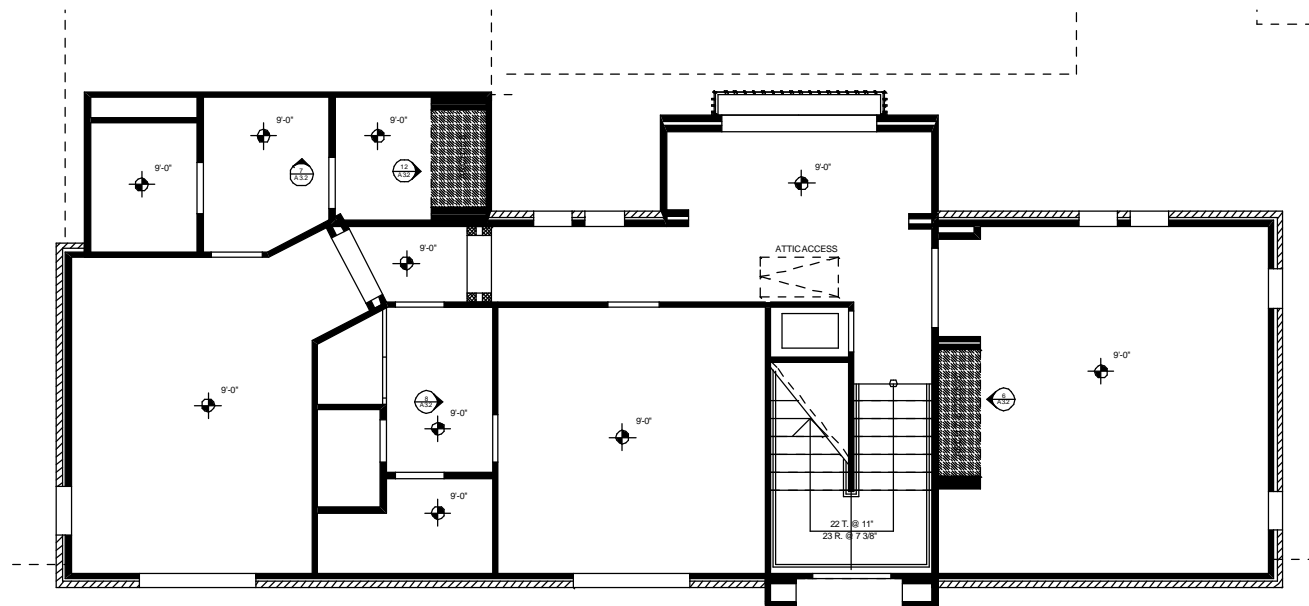
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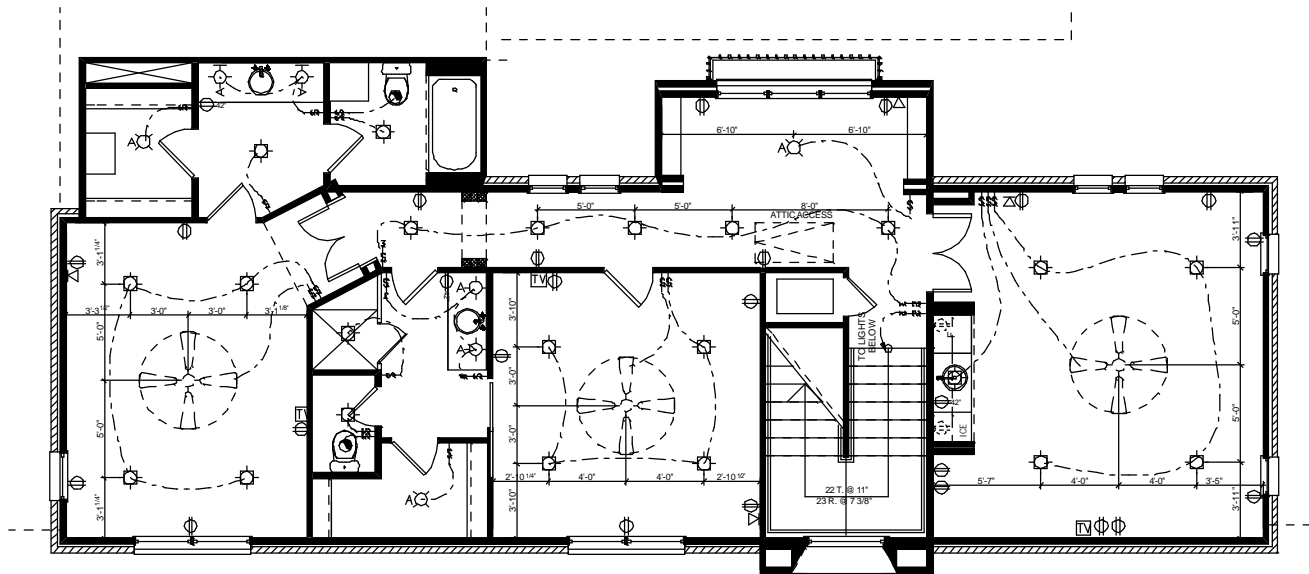
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A 1.4
First Floor RCP

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1 Second Floor Reflected Ceiling Plan
Scale: 1/4" = 1'-0"



2 Second Floor Electrical Plan
Scale: 1/4" = 1'-0"

ELECTRICAL NOTES:

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3. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED ELECTRICAL PERMITS AND INSPECTIONS.
4. CONVENIENCE OUTLETS TO BE MOUNTED @ 12" AFF. UNO.
5. OUTLETS MOUNTED ABOVE CABINETS TO BE 8" ABOVE THE NOMINAL WORKING SURFACE. SPECIALTY OUTLETS AS NOTED OR ACCORDING TO STANDARD PRACTICE.
6. REFRIGERATOR AND APPLIANCE OUTLETS TO BE 44" AFF.
7. BATHROOM OUTLETS SHALL BE GFI AND MOUNTED @ 44" AFF. OR 8" ABOVE COUNTER (IF HIGHER THAN STD. 2'-8").
8. ALL OUTLETS WITHIN 6'-0" OF WET AREA TO BE GFI.
9. MICROWAVE OUTLETS SHALL BE 20 AMP SEPARATE RECEPTICAL @ 76" AFF.
10. SWITCH BOXES TO BE MOUNTED @ 54" AFF TO CENTER LINE OF BOX OR CLUSTER OF BOXES.
11. ATTIC LIGHT SWITCH BOX MOUNTED @ 84" AFF.
12. ATTIC LIGHT TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
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17. TELEPHONE OUTLETS: PROVIDE BOX (MOUNT TYP. @ 12" AFF. OR 8" ABOVE COUNTER UNO), COVER PLATE, 6C WIRE, TERMINATE NEAR PANEL.
18. ALL KITCHEN OUTLETS THAT SERVE COUNTERTOPS MUST BE GFCI PROTECTED INCLUDING ISLANDS.
19. TYPICALLY LOCATE CEILING LIGHT FIXTURES, FANS, ETC. IN CENTER OF ROOM OR BEAM FURR DOWNS UNLESS NOTED OTHERWISE.
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23. BEDROOMS MUST BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
24. REFER TO APPLIANCE MANUFACTURER'S SPECIFICATIONS FOR ELECTRICAL REQUIREMENTS AND LOCATION.

ELECTRICAL LEGEND	
	110V DUPLEX
	42" 110V DUPLEX @ 42" AFF.
	110V DUPLEX WATERPROOF
	220V
	FLOOR DUPLEX
	PHONE
	BASE FLOOR
	SMOKE DETECTOR
	JUNCTION SURFACE
	WALL LIGHT
	RECESSED DIRECTIONAL
	RECESSED INCANDESCENT
	MINI RECESSED INCANDESCENT
	FLOOD LIGHT (MOUNTED IN SOFFIT UNO.)
	EXHAUST VENT
	HEAT VENT LIGHT
	CHIME
	THERMOSTAT



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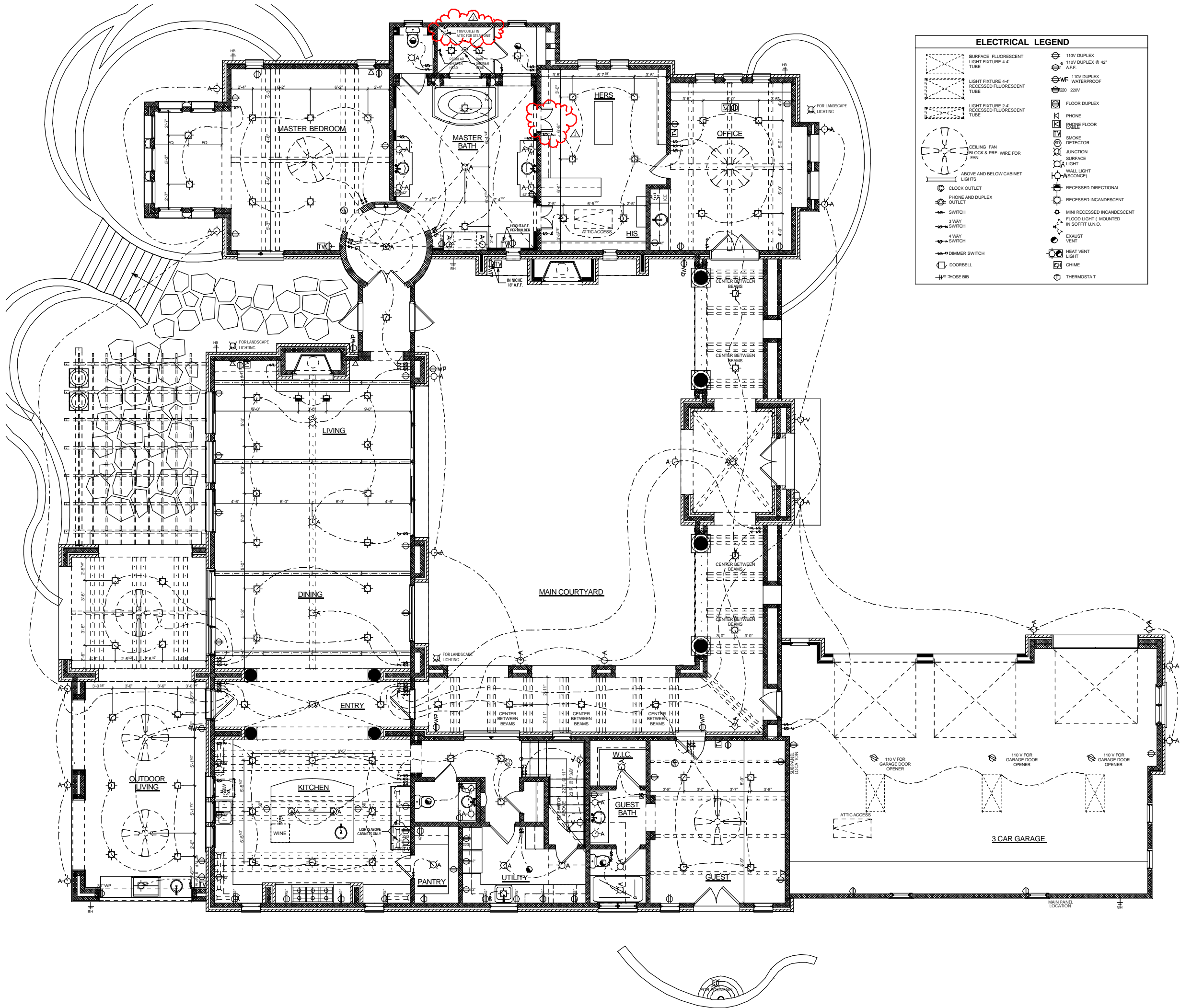


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Second Floor RCP/ELEC

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ELECTRICAL LEGEND	
	110V DUPLEX
	110V DUPLEX @ 42\"/>
	110V DUPLEX WATERPROOF
	220V
	FLOOR DUPLEX
	PHONE
	PHONE FLOOR
	SMOKE DETECTOR
	JUNCTION
	SURFACE LIGHT
	WALL LIGHT (BOUNCE)
	RECESSED DIRECTIONAL
	RECESSED INCANDESCENT
	MINI RECESSED INCANDESCENT
	FLOOD LIGHT (MOUNTED IN SLOTTED UNO)
	EXHAUST VENT
	HEAT VENT LIGHT
	CHIME
	THERMOSTAT

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9. MICROWAVE OUTLETS SHALL BE 20 AMP SEPARATE RECEPTICAL @ 76\"/>
10. SWITCH BOXES TO BE MOUNTED @ 54\"/>
11. ATTIC LIGHT SWITCH BOX MOUNTED @ 54\"/>
12. ATTIC LIGHT TO BE KEYLESS FIXTURE WITH INTEGRATED CONVENIENCE OUTLET LOCATED CONVENIENT TO ACCESS.
13. WASHER TO HAVE SEPARATE 20 AMP DUPLEX OUTLET @ 44\"/>
14. DRYER TO HAVE SEPARATE 220 V 30 AMP SINGLE OUTLET @ 44\"/>
15. ALL OUTLETS IN GARAGE TO BE GFI UNLESS NOTED FOR APPLIANCE.
16. ALL EXTERIOR OUTLETS TO BE GFI AND WEATHER PROTECTED.
17. TELEPHONE OUTLETS: PROVIDE BOX (MOUNT TYP @ 12\"/>
18. ALL KITCHEN OUTLETS THAT SERVE COUNTERTOPS MUST BE GFCI PROTECTED INCLUDING ISLANDS.
19. TYPICALLY LOCATE CEILING LIGHT FIXTURES, FANS, ETC. IN CENTER OF ROOM OR BEAM FLURR DOWNS UNLESS NOTED OTHERWISE.
20. GANG ELECTRICAL SWITCHES WHERE POSSIBLE.
21. ALL BATHROOMS MUST HAVE SEPARATE 20 AMP BRANCH CIRCUIT.
22. LAUNDRY ROOM TO HAVE SEPARATE 20 AMP BRANCH CIRCUIT.
23. BEDROOMS MUST BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
24. REFER TO APPLIANCE MANUFACTURERS SPECIFICATIONS FOR ELECTRICAL REQUIREMENTS AND LOCATION.

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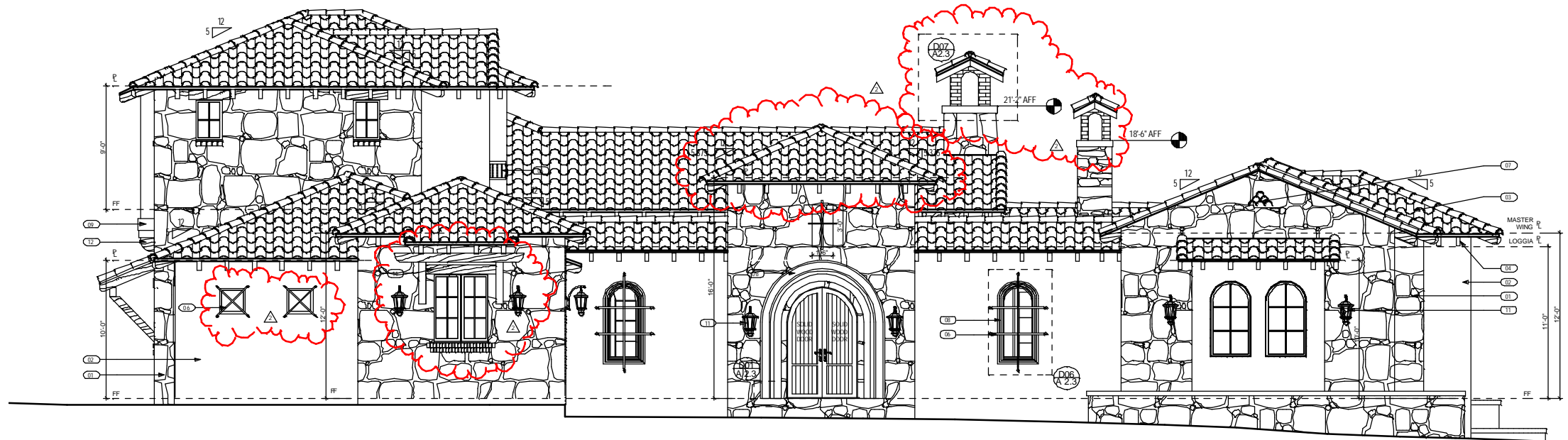
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A 1.6
Electrical Plan

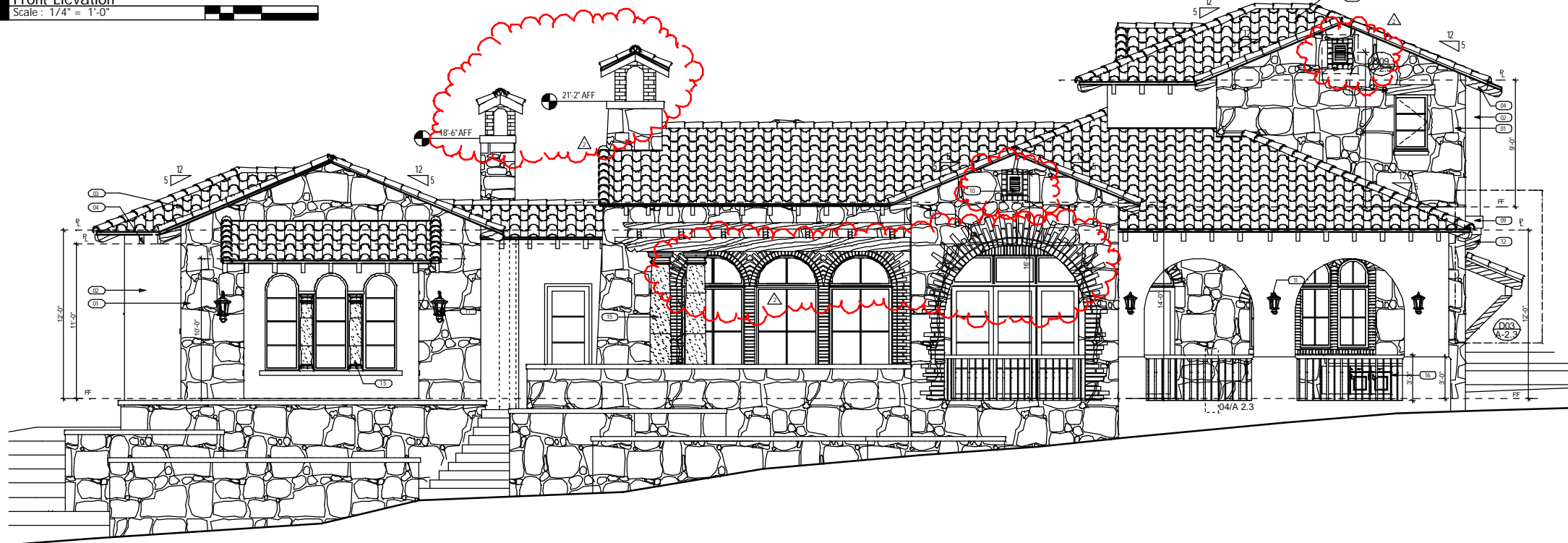
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1 First Floor Electrical Plan

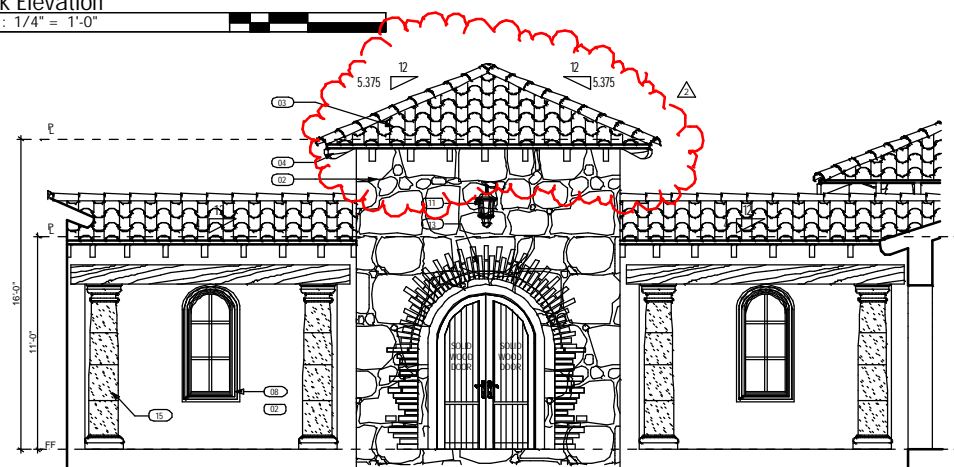
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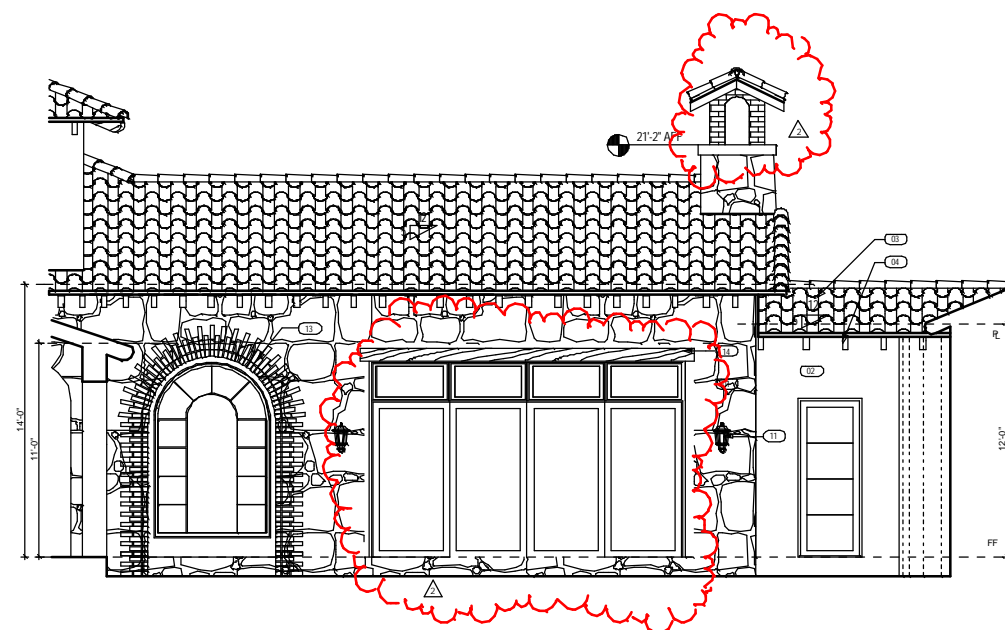
1 Front Elevation
Scale : 1/4" = 1'-0"



2 Back Elevation
Scale : 1/4" = 1'-0"



3 Int Courtyard Front
Scale : 1/4" = 1'-0"



4 Int Courtyard Back
Scale : 1/4" = 1'-0"

ELEVATION NOTES

- 01 STONE, COLOR TO MATCH EXTERIOR RENDERINGS
- 02 STUCCO, COLOR TO MATCH EXTERIOR RENDERINGS
- 03 TILE ROOF, COLOR TO MATCH EXTERIOR RENDERINGS
- 04 EXPOSED WOOD RAFTERS
- 05 IRON PLANT RAIL PER BUILDER
- 06 IRON DETAIL
- 07 TILE VENT
- 08 CAST STONE SURROUND
- 09 STUCCO TRIM
- 10 1'-2"x1'-6" WOOD VENT
- 11 EXTERIOR LIGHTS PER BUILDER
- 12 WOOD CORBELS TO MATCH DETAIL 00A2.3
- 13 BLENDED BRICK TRIM CUT THIN AND FLUSH WITH STONE FACE
- 14 WOOD HEADER, 1" PROJECTION
- 15 STONE COLUMN
- 16 IRON RAILING PER BUILDER



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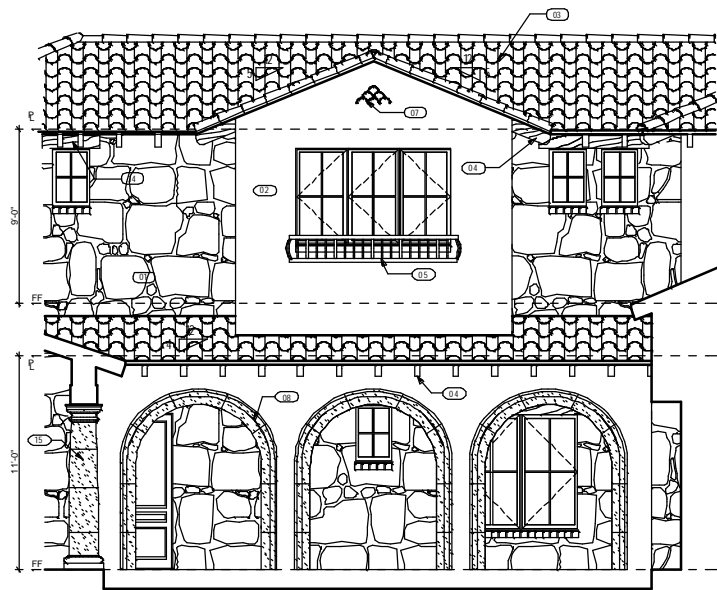
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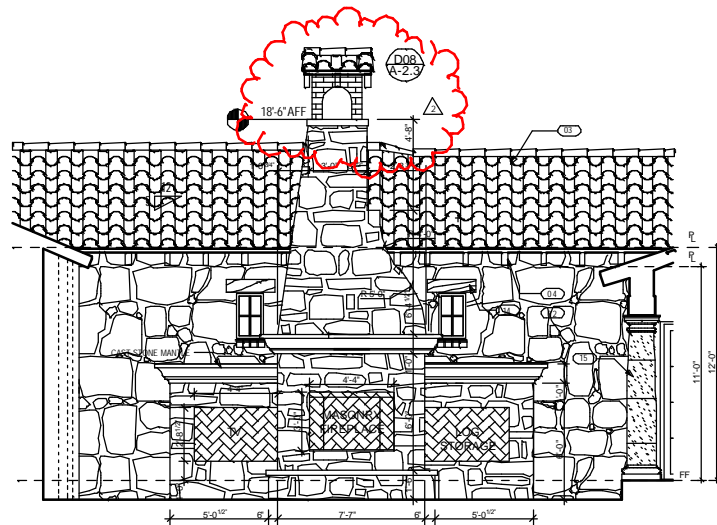
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A 2.1
Elevations

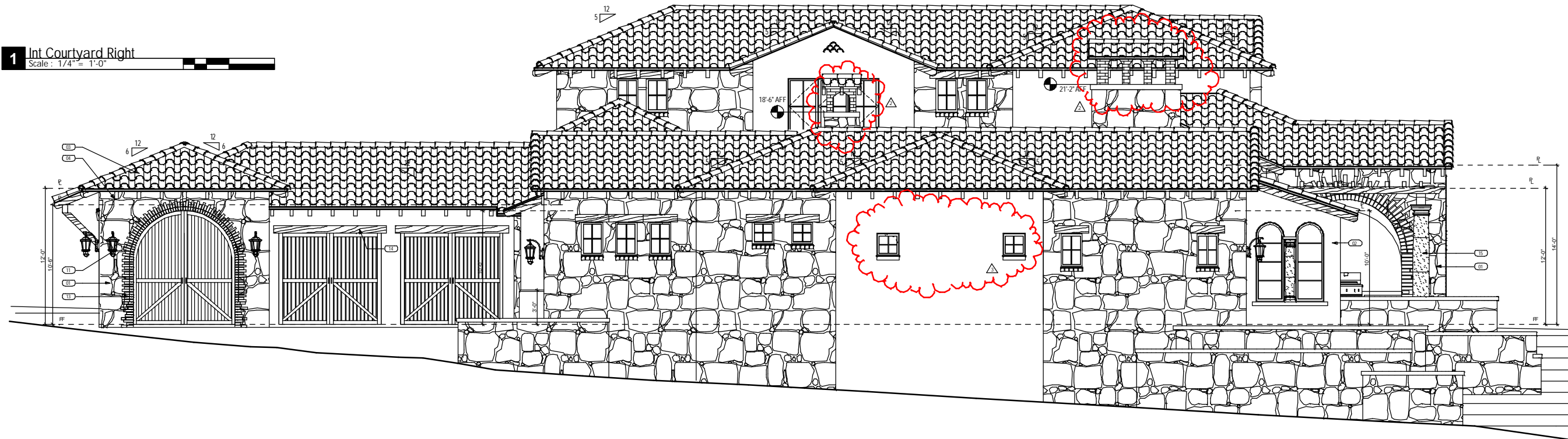
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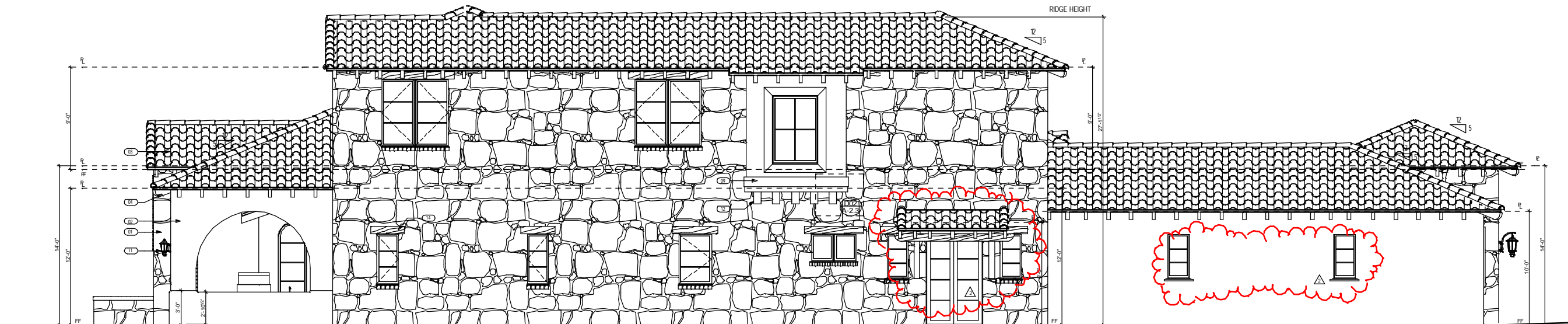
1 Int Courtyard Right
Scale : 1/4" = 1'-0"



2 Int Courtyard Left
Scale : 1/4" = 1'-0"



3 Right Elevation
Scale : 1/4" = 1'-0"



4 Left Elevation
Scale : 1/4" = 1'-0"

ELEVATION NOTES

- 01 STONE, COLOR TO MATCH EXTERIOR RENDERINGS
- 02 STUCCO, COLOR TO MATCH EXTERIOR RENDERINGS
- 03 TILE ROOF, COLOR TO MATCH EXTERIOR RENDERINGS
- 04 EXPOSED WOOD RAFTERS
- 05 IRON PLANT RAIL PER BUILDER
- 06 IRON DETAIL
- 07 TILE VENT
- 08 CAST STONE SURROUND
- 09 STUCCO TRIM
- 10 1'-2"x1'-6" WOOD VENT
- 11 EXTERIOR LIGHTS PER BUILDER
- 12 WOOD CORBELS TO MATCH DETAIL 02A2.3
- 13 BLENDED BRICK TRIM CUT THIN AND FLUSH WITH STONE FACE
- 14 WOOD HEADER, 1" PROJECTION
- 15 STONE COLUMN
- 16 IRON RAILING PER BUILDER



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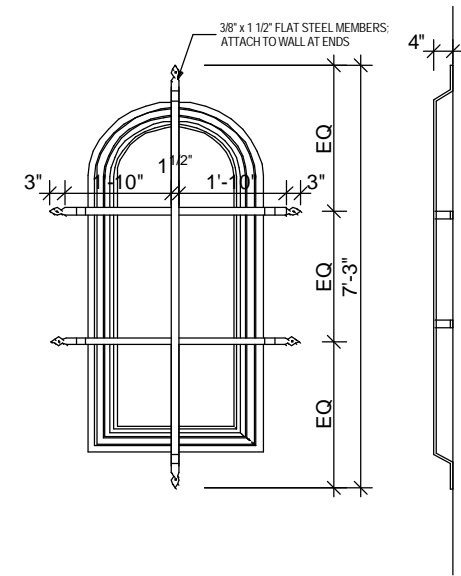
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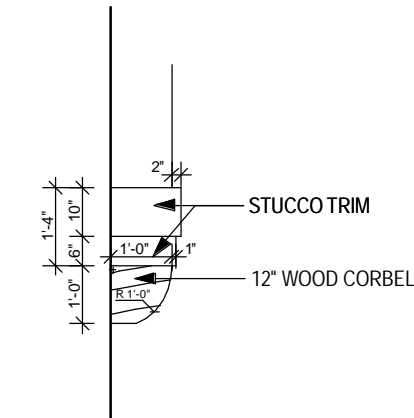
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A 2.2
Elevations

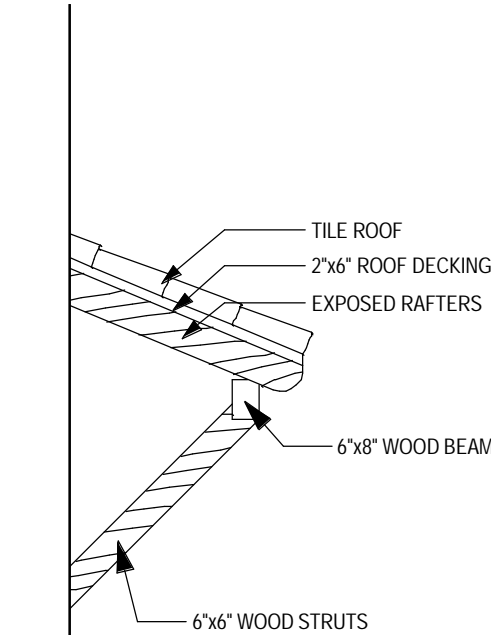
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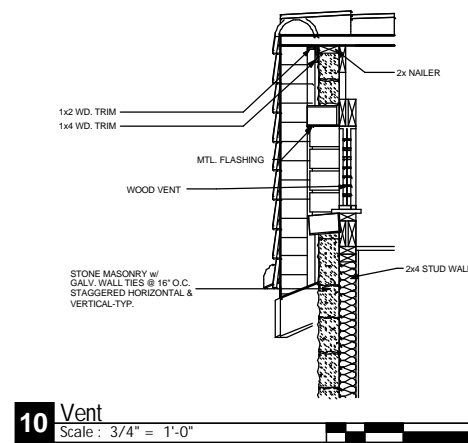
1 Typical Iron Detail
Scale : 3/4" = 1'-0"



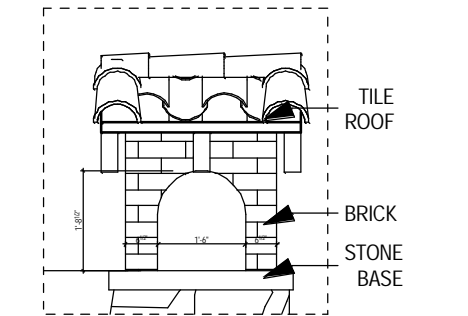
2 Stair/Bracket Detail
Scale : 3/4" = 1'-0"



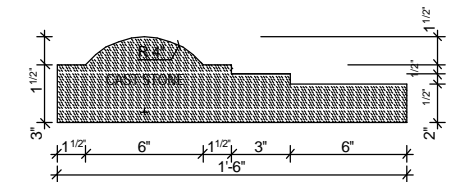
3 Stair/Bracket Detail
Scale : 3/4" = 1'-0"



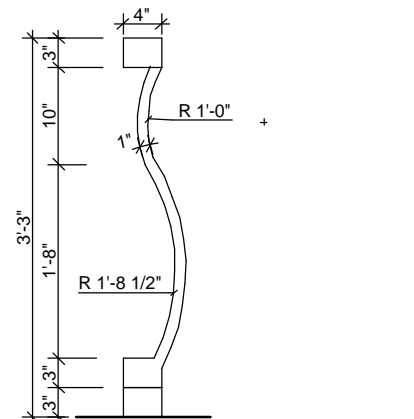
10 Vent
Scale : 3/4" = 1'-0"



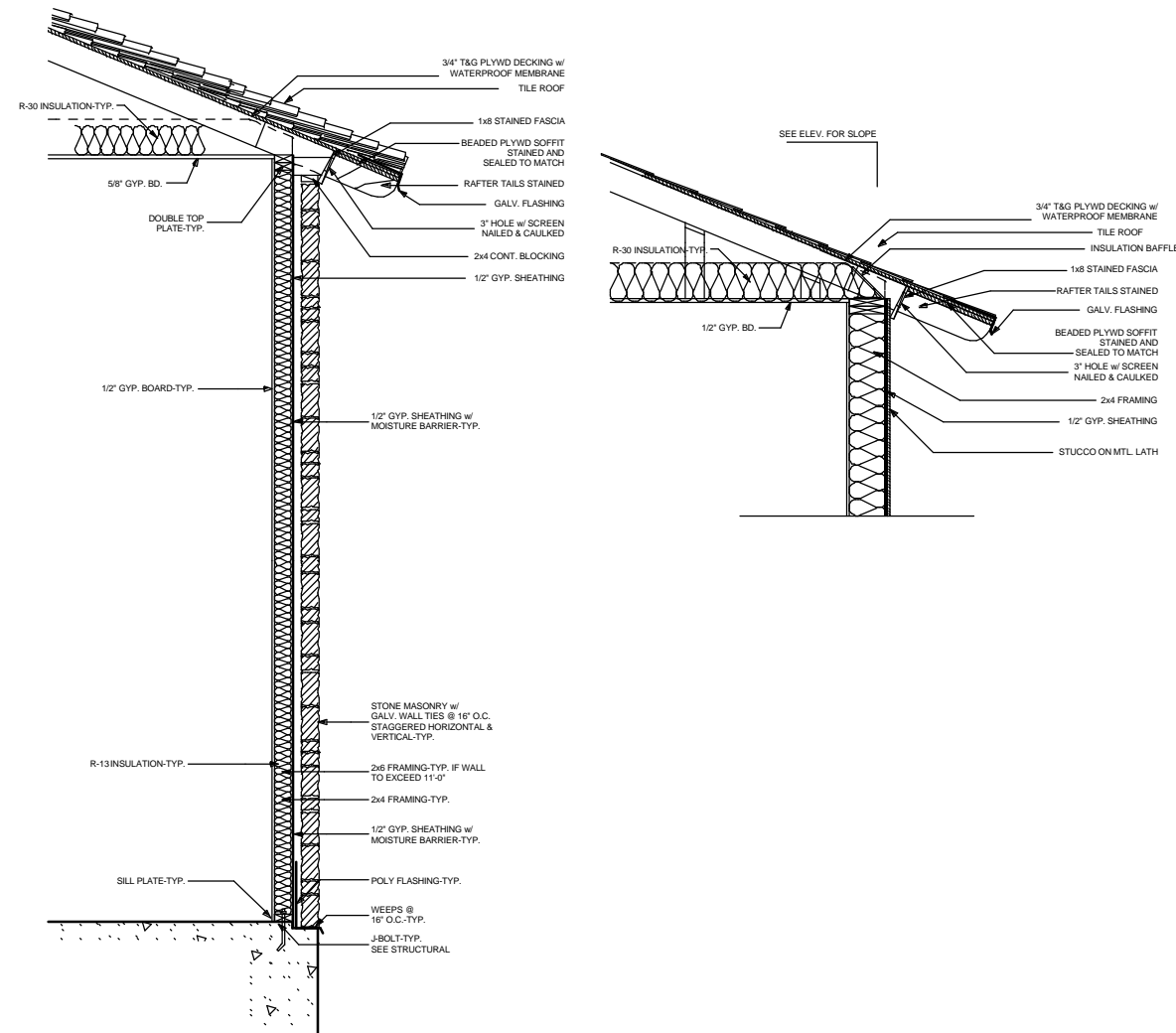
9 Chimney Cap
Scale : 3/4" = 1'-0"



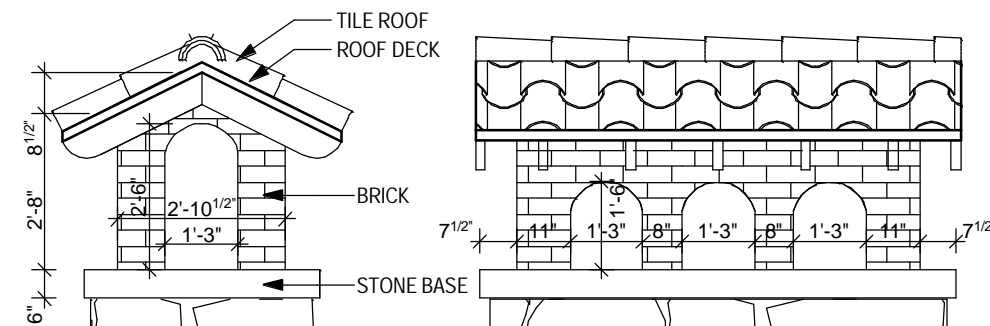
4 Front Door Surround Profile Detail
Scale : 3" = 1'-0"



5 Iron Railing Detail
Scale : 1 1/2" = 1'-0"



7 Typical Wall Section
Scale : 3/4" = 1'-0"



6 Typical Chimney Cap
Scale : 3/4" = 1'-0"

ELEVATION NOTES

- (01) STONE COLOR TO MATCH EXTERIOR RENDERINGS
- (02) STUCCO COLOR TO MATCH EXTERIOR RENDERINGS
- (03) TILE ROOF COLOR TO MATCH EXTERIOR RENDERINGS
- (04) EXPOSED WOOD RAFTERS
- (05) IRON PLANT RAIL PER BUILDER
- (06) IRON DETAIL
- (07) TILE VENT
- (08) CAST STONE SURROUND
- (09) STUCCO TRIM
- (10) 1'-2X1'-6" WOOD VENT
- (11) EXTERIOR LIGHTS PER BUILDER
- (12) WOOD CORBELS TO MATCH DETAIL 00A2.3
- (13) BLENDED BRICK TRIM CUT THIN AND FLUSH WITH STONE FACE
- (14) WOOD HEADER, 1" PROJECTION
- (15) STONE COLUMN
- (16) IRON RAILING PER BUILDER



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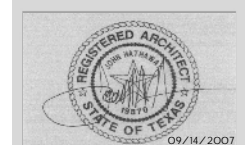
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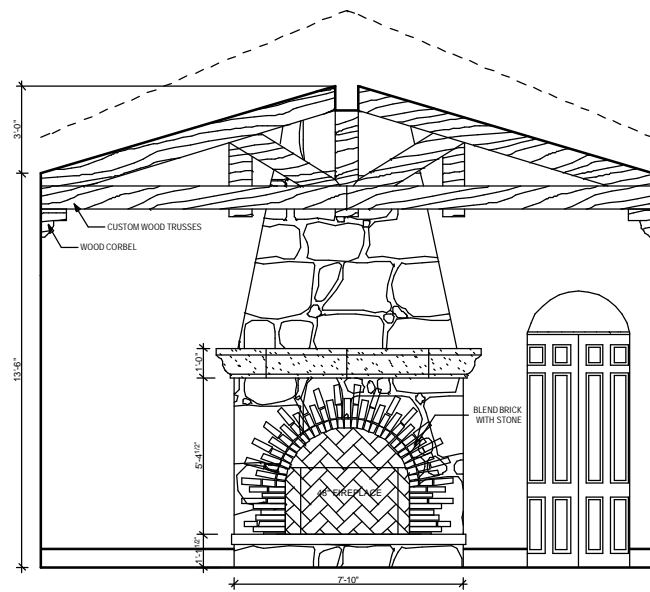
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A 2.3
Details

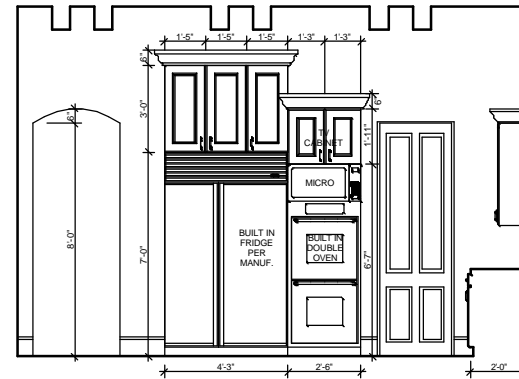
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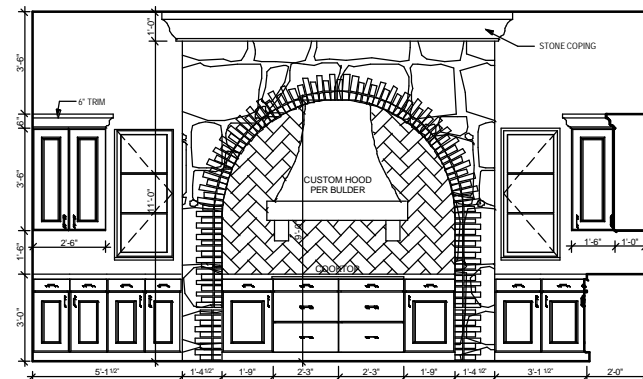
1 Living Fireplace
Scale: 3/8" = 1'-0"



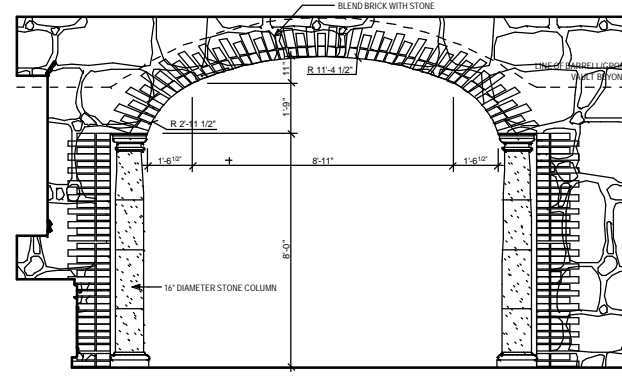
2 Kitchen/Dining/Living West
Scale: 3/8" = 1'-0"



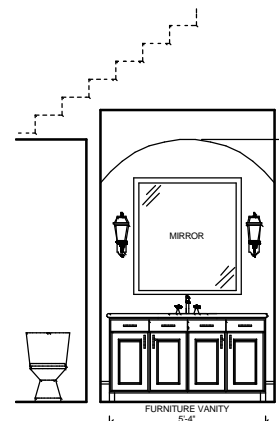
3 Kitchen East
Scale: 3/8" = 1'-0"



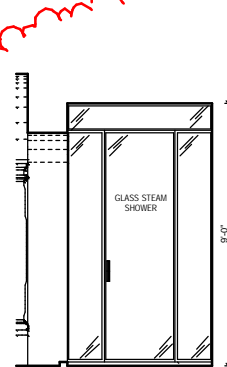
4 Kitchen South
Scale: 3/8" = 1'-0"



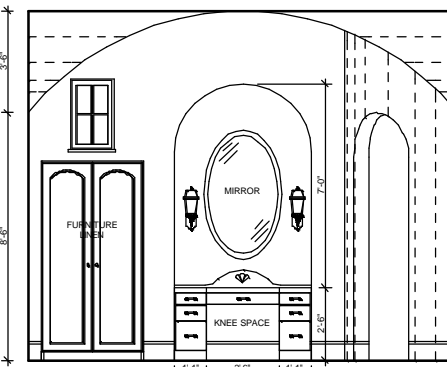
5 Kitchen North
Scale: 3/8" = 1'-0"



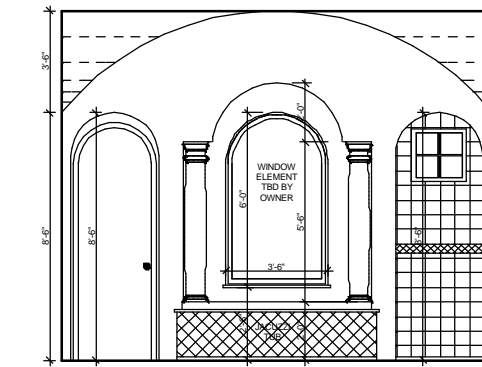
6 Guest Bath Vanity
Scale: 3/8" = 1'-0"



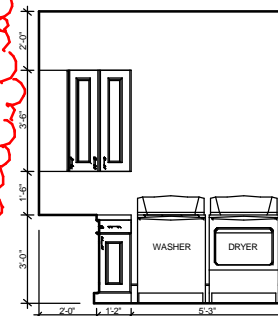
7 Master Bath Shower Door
Scale: 3/8" = 1'-0"



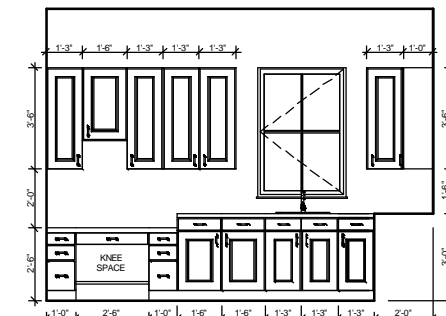
8 Master Bath South
Scale: 3/8" = 1'-0"



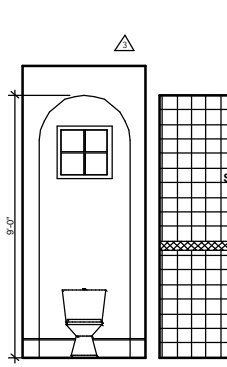
9 Master Bath North
Scale: 3/8" = 1'-0"



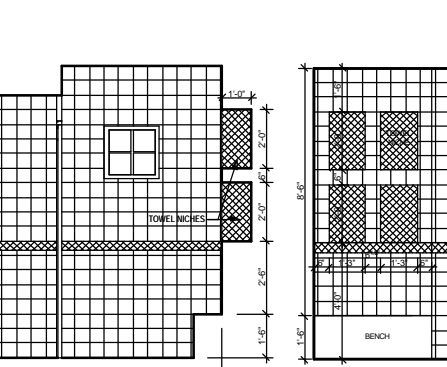
10 Utility West
Scale: 3/8" = 1'-0"



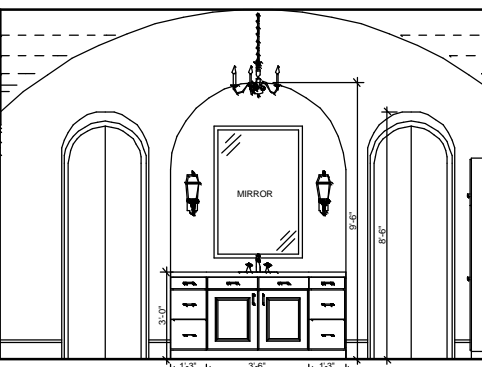
11 Utility South
Scale: 3/8" = 1'-0"



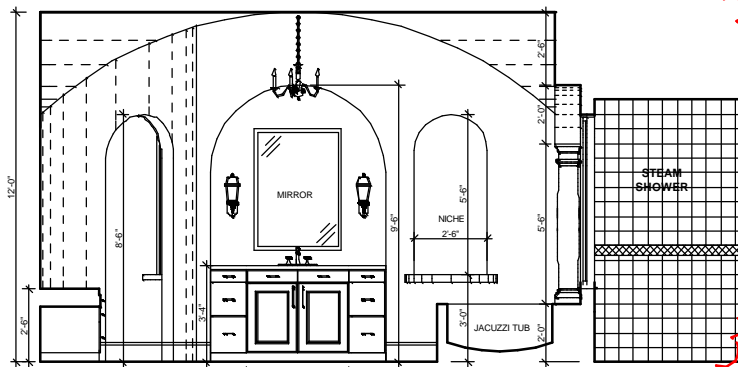
12 Master Bath Shower
Scale: 3/8" = 1'-0"



13 Master Bath East
Scale: 3/8" = 1'-0"



14 Master Bath West
Scale: 3/8" = 1'-0"



15 Master Bath West
Scale: 3/8" = 1'-0"



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A 3.1
Interior Elevations

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