

BANNER COUNTY PASTURE & CRP

BANNER COUNTY, NE
406+/- Acres Pasture & CRP



535 E Chestnut, PO Box 407
Sterling, CO 80751
970-522-7770
1-800-748-2589



RECK AGRI
REALTY & AUCTION

For Further Information Contact:
Troy Vogel, Salesperson or Marc Reck, Broker

tvogel@reckagri.com
Visit: www.reckagri.com





PROPERTY INFORMATION

LOCATION: From Kimball, NE, Hwy 71 north 13.1 miles to Road 6 / Albin Road. West 8 miles on Road 6 / Albin Road to the southeast corner of the property. Property lies on the north side of Road 6 / Albin Road.

LEGAL DESCRIPTION: A parcel of land in Sections 19 & 24, Township 17 North, Range 57 West of the 6th P.M., Banner County, NE; Full Legal Description described per survey.

ACREAGE: 351.98+/- Acres Pasture
54.34+/- Acres CRP
406.32+/- Total Acres

LAND USE: Livestock grazing, cow / calf operation, yearlings, horses, pigs, goats or sheep. Conservation Reserve Program.

TENURE: Terrain is level to rolling.

CRP INFORMATION: 54.34 ac @ \$33.03 = \$1,795 per year. CRP Contract expires 9-30-2027. CRP Practice CP25.

MINERAL RIGHTS: Seller reserving all owned mineral rights.

WIND LEASE: Seller has entered into a wind energy lease agreement. Seller to convey all owned wind rights to Buyer(s),

WATER: One windmill located in pasture provides water for livestock.

TAXES: 2018 real estate taxes due in 2019: \$2.489

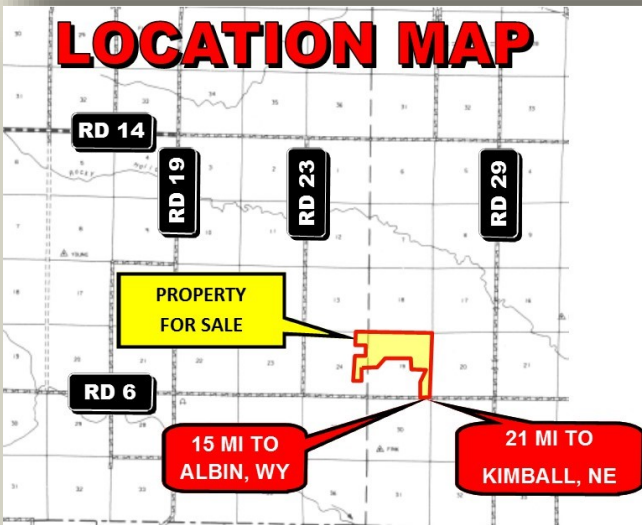
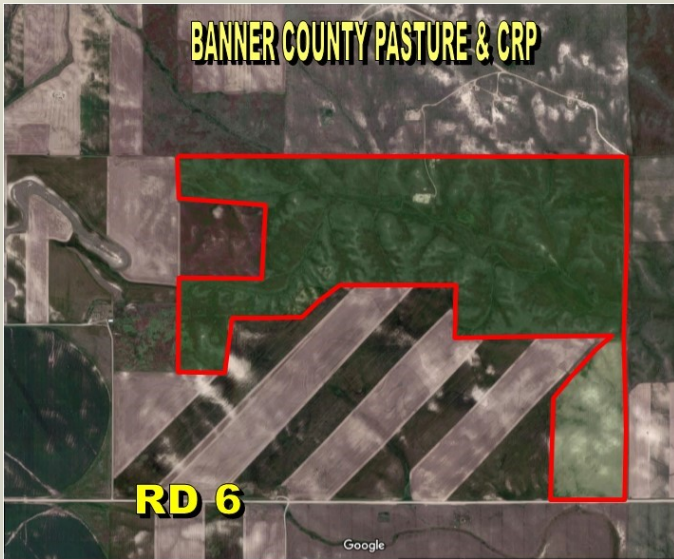
POSSESSION: Upon closing.

ASKING PRICE: \$210,000

TERMS: Good funds at closing.



PROPERTY PHOTOS | MAPS



NOTICE TO PROSPECTIVE BUYER

The information contained herein has either been given to us by the owner of the property or obtained from sources that we deem reliable. We have no reason to doubt its accuracy, but we do not guarantee it. Reck Agri Realty & Auction and the Seller assumes no responsibility for the omissions, corrections, or withdrawals. The location and aerial maps are not intended as a survey and are for general location purposes only. The prospective Buyer(s) should verify all information contained herein. All prospective buyers are urged to fully inspect the property, its condition and to rely on their own conclusions. All equipment and improvements are to be sold AS IS-WHERE IS, without warranty, representation or recourse to Seller. Reck Agri Realty & Auction and all other agents of Broker are or will be acting as a Limited Seller's Agent.



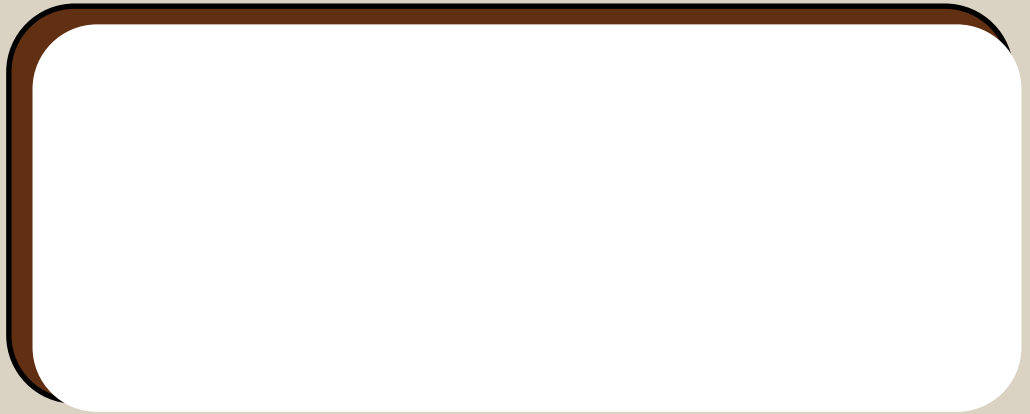
Reck Agri Realty & Auction
PO Box 407
Sterling, CO 80751

Watch LIVE Auctions on
www.reckagri.com



ADDRESS SERVICE REQUESTED

www.reckagri.com
"Like Us on Facebook & "Follow Us" on Twitter



BANNER COUNTY PASTURE & CRP

BANNER COUNTY, NE
406+/- Acres Pasture & CRP

