

AREA TABULATION	
1ST FLOOR LIVING	3,061.50 SQ. FT.
2ND FLOOR LIVING	1,633.50 SQ. FT.
TOTAL LIVING	4,754.50 SQ. FT.
3 CAR GARAGE	857.50 SQ. FT.
COVD PORCH	2,383.50 SQ. FT.
COVD PATIO	50.50 SQ. FT.
LUG	63.50 SQ. FT.
TOTAL FRAME	8,044.50 SQ. FT.
TOTAL SLAB	6,420.50 SQ. FT.
NOTE:	
STONE LUG SQ. FT. IN COVD PORCH IS INCLUDED IN COVD PORCH SQ. FT.	

ADVANTAGE
BUILDING DESIGN

1015 PEREZ ST.
SAN ANTONIO, TX. 78207

PHONE: 210-550-3570
email: edmorreel@hotmail.com

Metcalf-Mittman Residence

Anderson *Olly* Jenkins
SIGNATURE

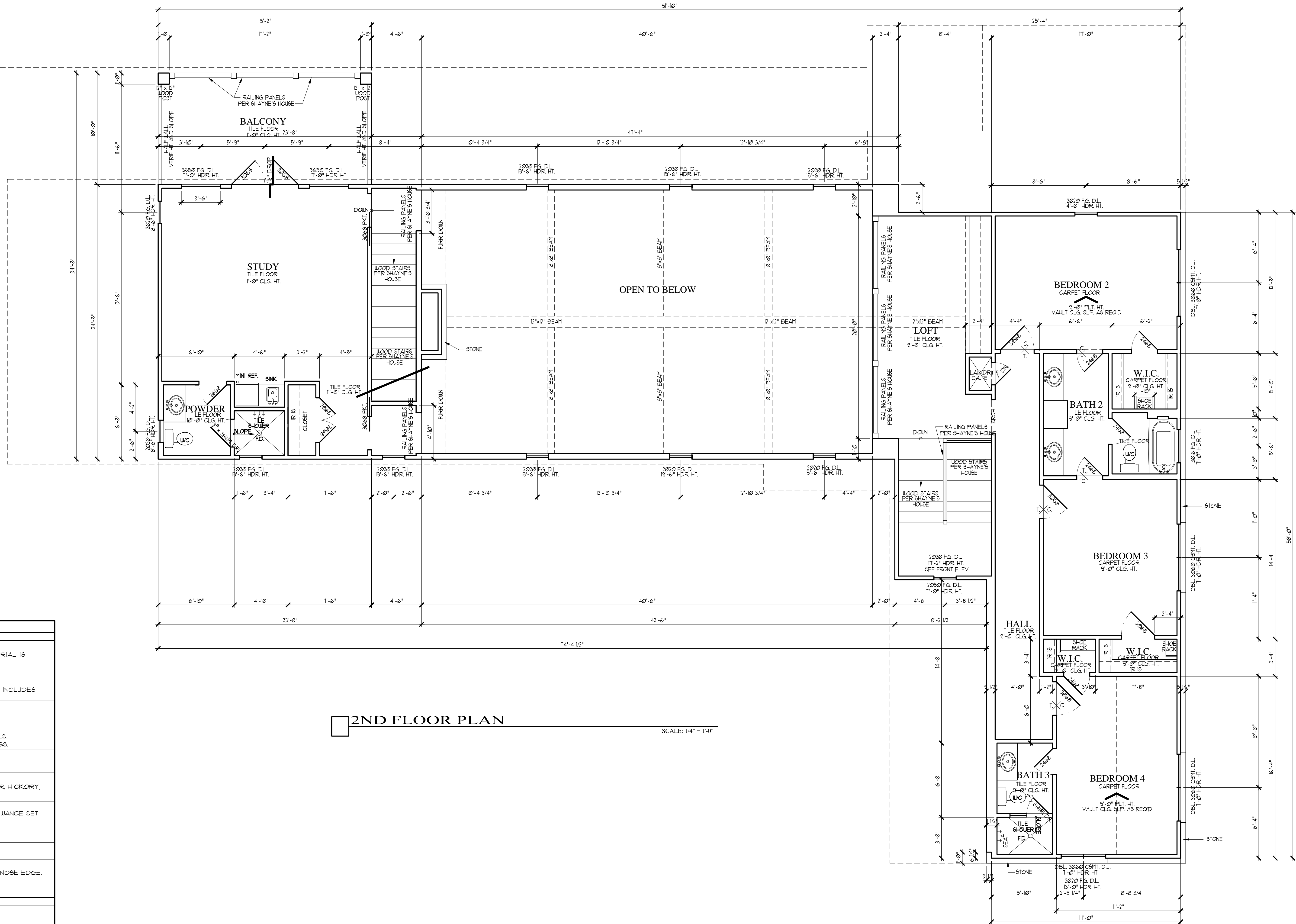
phone: 830-606-1414
1213 Vintage Way
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REVISIONS
7-8-12
8-16-12

DRAWN BY:	EM
JOB #	1235
DATE:	8-27-1

SHEET
A1

PLAN NOTES:	
ARCHITECTURAL:	
MILLWORK: FRAMING, ETC.	
● TONGUE AND GROOVE CEILING TREATMENT ON ALL COVERED PORCHES AND PATIOS. MATERIAL IS RE-STAINED AND SEALED. COLOR PER AJ MODEL.	
● 1 1/8" TAG OSB SUB FLOOR.	
ROOF:	
● METAL ROOF, 24 GAUGE PRE-FINISHED BERRIDGE PRE-FINISHED WITH STANDARD COLORS - INCLUDES TITANIUM UDLZS.	
INSULATION:	
● CEILINGS: SELECTION 500 SPRAY FOAM INSULATION IN ATTIC ROOF LINES.	
● COMMON WALLS: NOISE REDUCING INSULATION AROUND BATHROOMS, MASTER BEDROOM.	
● SHARED WALLS: AND UTILITY ROOM.	
● EXTERIOR WALLS: ENVIRONMENTAL STABILIZED CELLULOSE INSULATION IN ALL EXTERIOR WALLS.	
● AIR-FILTRATION: POLY-CELL INSULATION AT ALL EXTERIOR PLATES AND EXTERIOR OPENINGS.	
DOOR & WINDOWS:	
● PAINT GRADE HOLLOW CORE DOORS.	
● ALUMINUM WINDOWS - ENERGY STAR RATED.	
CABINETS TO INCLUDE:	
● PLYWOOD BODY, FULL EXTENSION GUIDES, STANDARD WOODS: MAPLE, ALDER, KNOTTY ALDER, HICKORY, KNOTTY HICKORY, OAK, BEECH, ALL WOOD CROWN MOULDING.	
TILE:	
● WALL TILE: MASTER SHOWER TO BE FULL MUD SET. ALL WALL TILE AND BACK SPLASH ALLOWANCE SET TO MATCH AJ MODEL LEVEL OF FINISH.	
COOLSTONE:	
● PER PLAN	
PAINT:	
● SHERWIN WILLIAMS, LATEX PRIMER, EGGSHELL FINISH PAINT ON WALLS.	
GRANITE:	
● LEVEL 1-3 GRANITE ON COUNTERTOPS. COUNTERTOPS TO HAVE EITHER STANDARD OR BULLNOSE EDGE.	
FIREPLACE:	
● STONE	
MECHANICAL, ELECTRICAL, PLUMBING & KITCHEN EQUIPMENT / FIXTURES:	
GENERAL NOTES:	
● ALL ELECTRICAL AND WATER SETUP IS INCLUDED.	
● FULL ALARM SYSTEM.	
● BURIED 250 GAL. PROPANE TANK.	
● 2-TANKLESS WATER HEATERS.	
MECHANICAL NOTES:	
● HVAC - 15 SEER CARRIER HEAT PUMP.	
ELECTRICAL NOTES:	
● SEE GENERAL NOTES ABOVE.	
PLUMBING FIXTURES:	
● ALLOWANCE ITEMS TO BE PURCHASED AT TEXAS CUSTOM BUILDERS GUILD DISCOUNTED PRICING.	
LIGHTING FIXTURES:	
● ALLOWANCE ITEMS TO BE PURCHASED AT TEXAS CUSTOM BUILDERS GUILD DISCOUNTED PRICING.	
PEST CONTROL:	
● PEST SHIELD BUILT-IN PEST CONTROL SYSTEM "TUBES IN THE WALL" TERMINATE BORATE WOOD PRETREATMENT.	
STRUCTURAL:	
● ENGINEERED POST TENSION SLAB ON GRADE WITH MAXIMUM AVERAGE SLAB EXPOSURE PER TOPOGRAPHICAL SURVEY.	
SITE:	
● UTILITY TRENCHING SET UP PER SITE PLAN.	



FINAL PLAN SET
I understand this is the final plan set.
Any changes to this plan will result
in a change order.
Signature: _____
Date: _____

AREA TABULATION	
1ST FLOOR LIVING	3,061 SQ. FT.
2ND FLOOR LIVING	1,633 SQ. FT.
TOTAL LIVING	4,694 SQ. FT.
3 CAR GARAGE	851 SQ. FT.
COVD PORCH	2,383 SQ. FT.
COVD PATIO	50 SQ. FT.
LUG	63 SQ. FT.
TOTAL FRAME	8,044 SQ. FT.
TOTAL SLAB	6,410 SQ. FT.
NOTE: STONE LUG SQ. FT. IN COVD PORCH IS INCLUDED IN COVD PORCH SQ. FT.	

CONTRACTOR NOTES:
• All of the design concepts, working drawings and detail plans, specifications, and any other documents prepared by the architect are the property of the architect and shall remain confidential.
• The contractor shall not be responsible for any errors or omissions in the drawings or specifications.
• The contractor shall not be responsible for any delays or cost overruns caused by the contractor's own actions or inactions.
• The contractor shall not be responsible for any claims or damages caused by the contractor's own actions or inactions.
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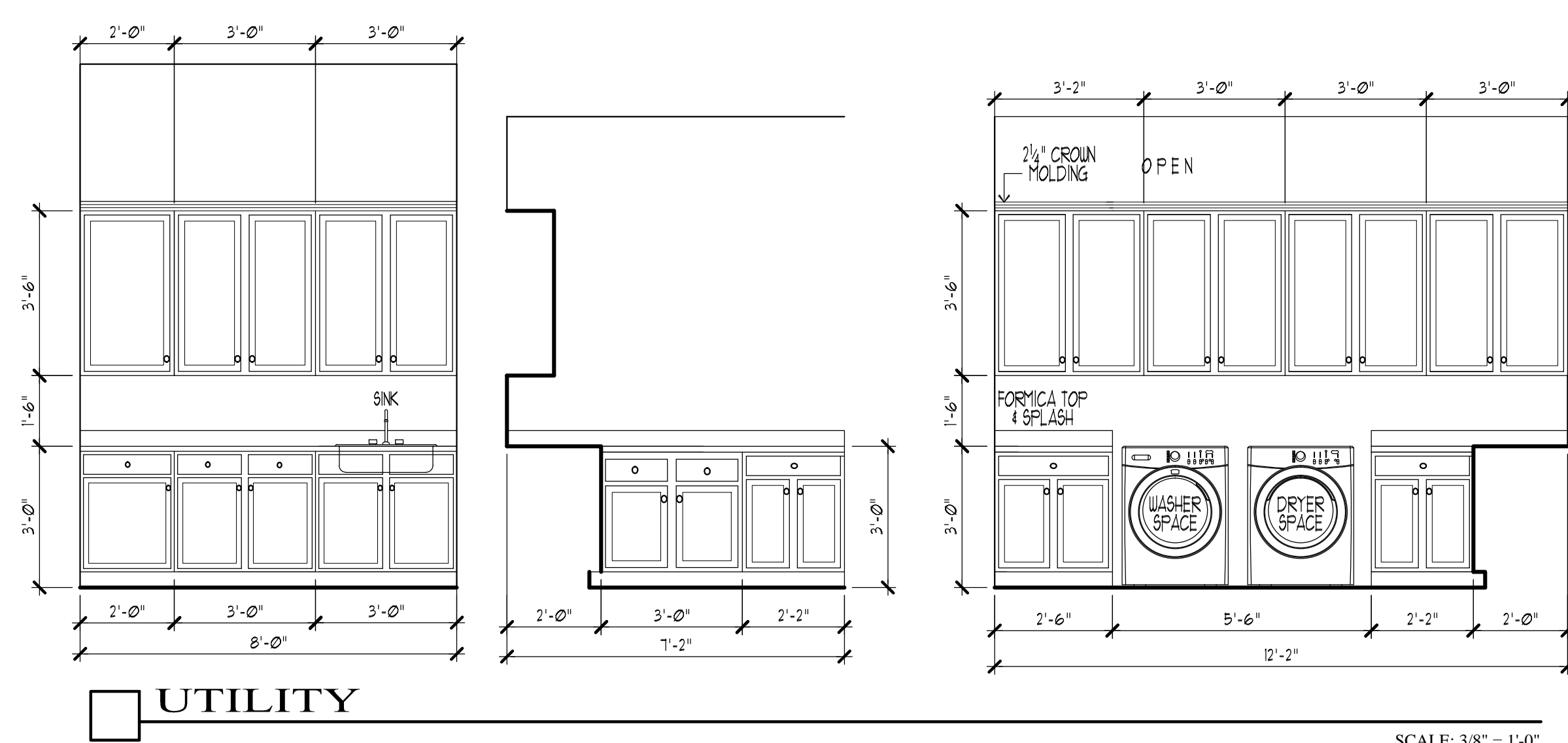
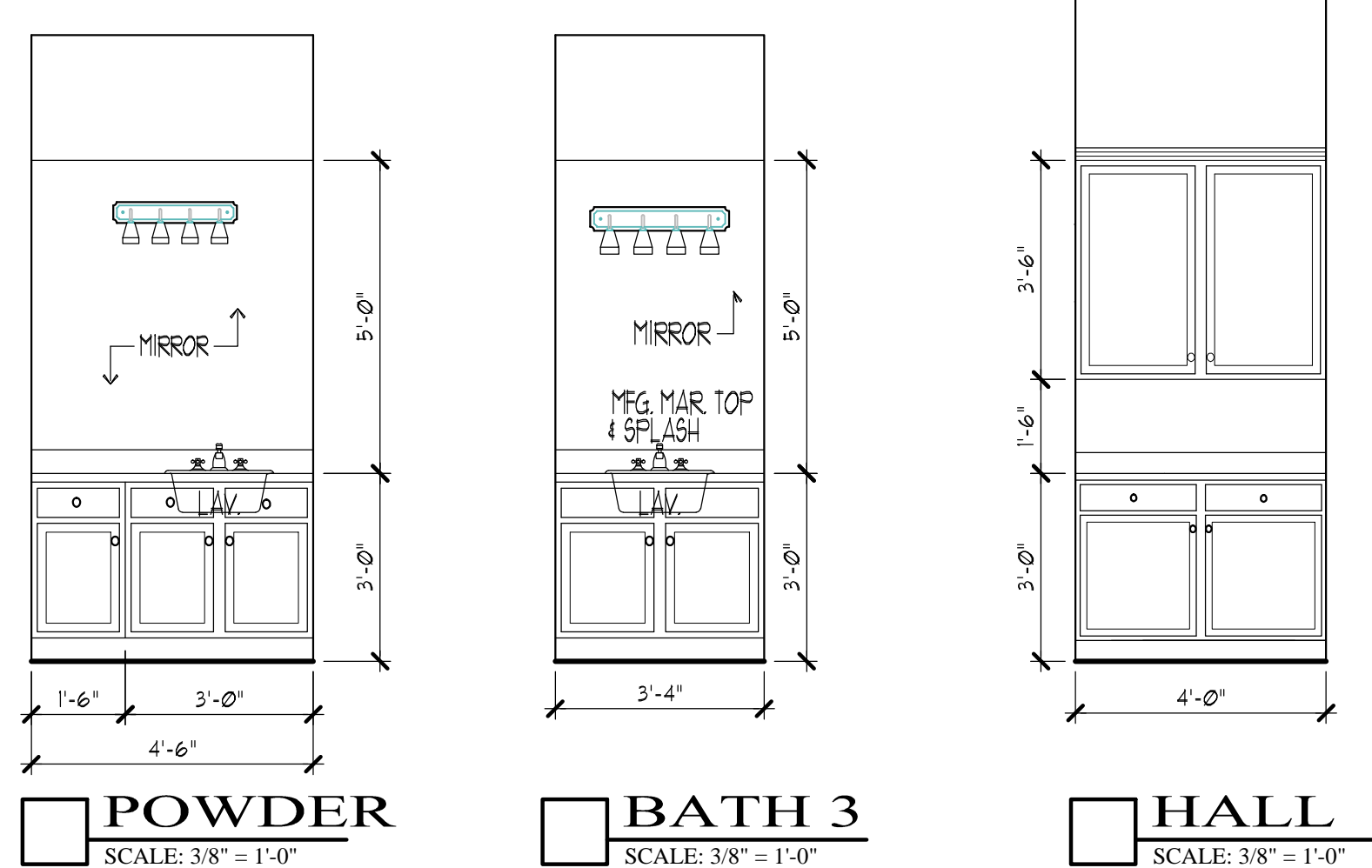
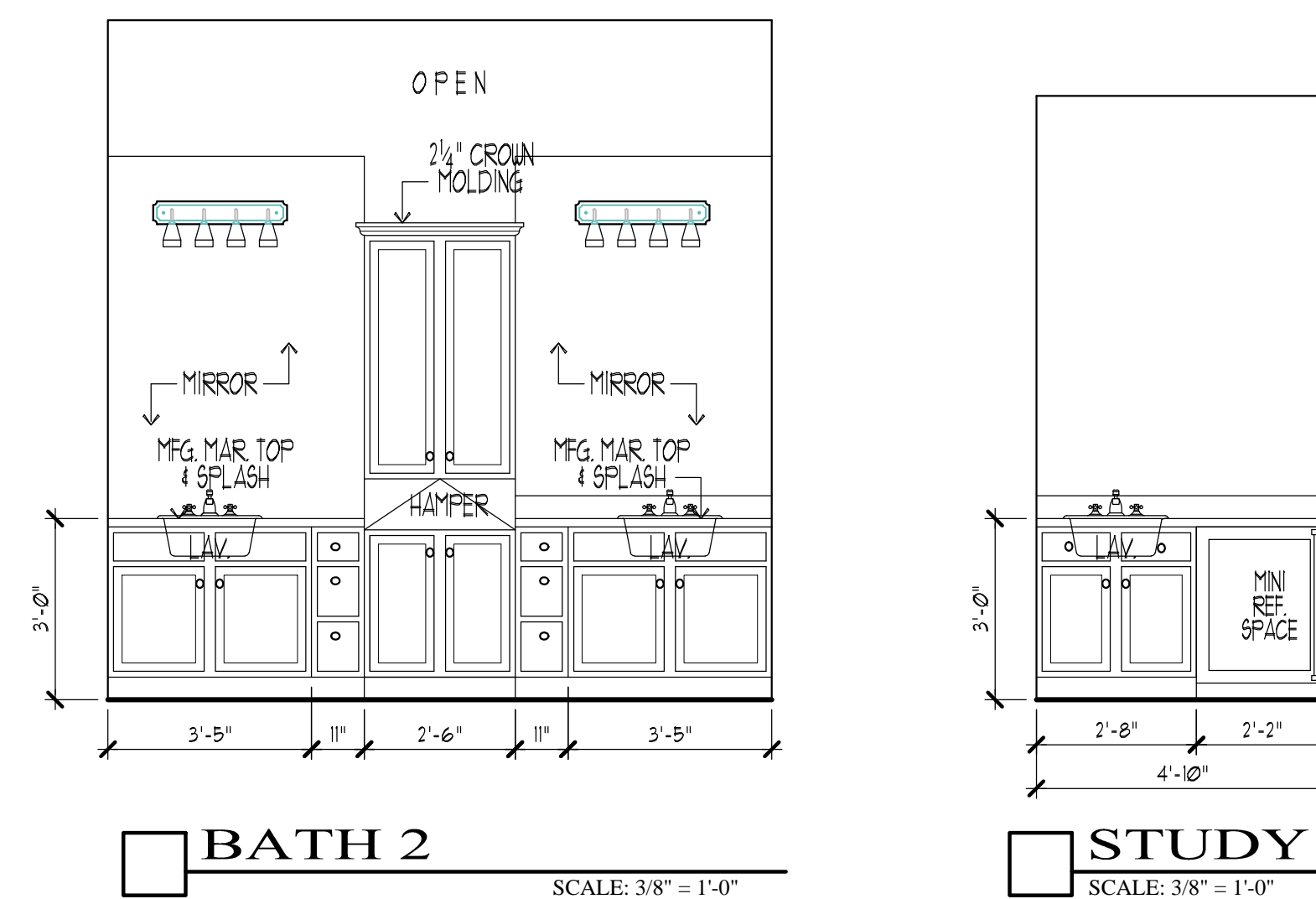
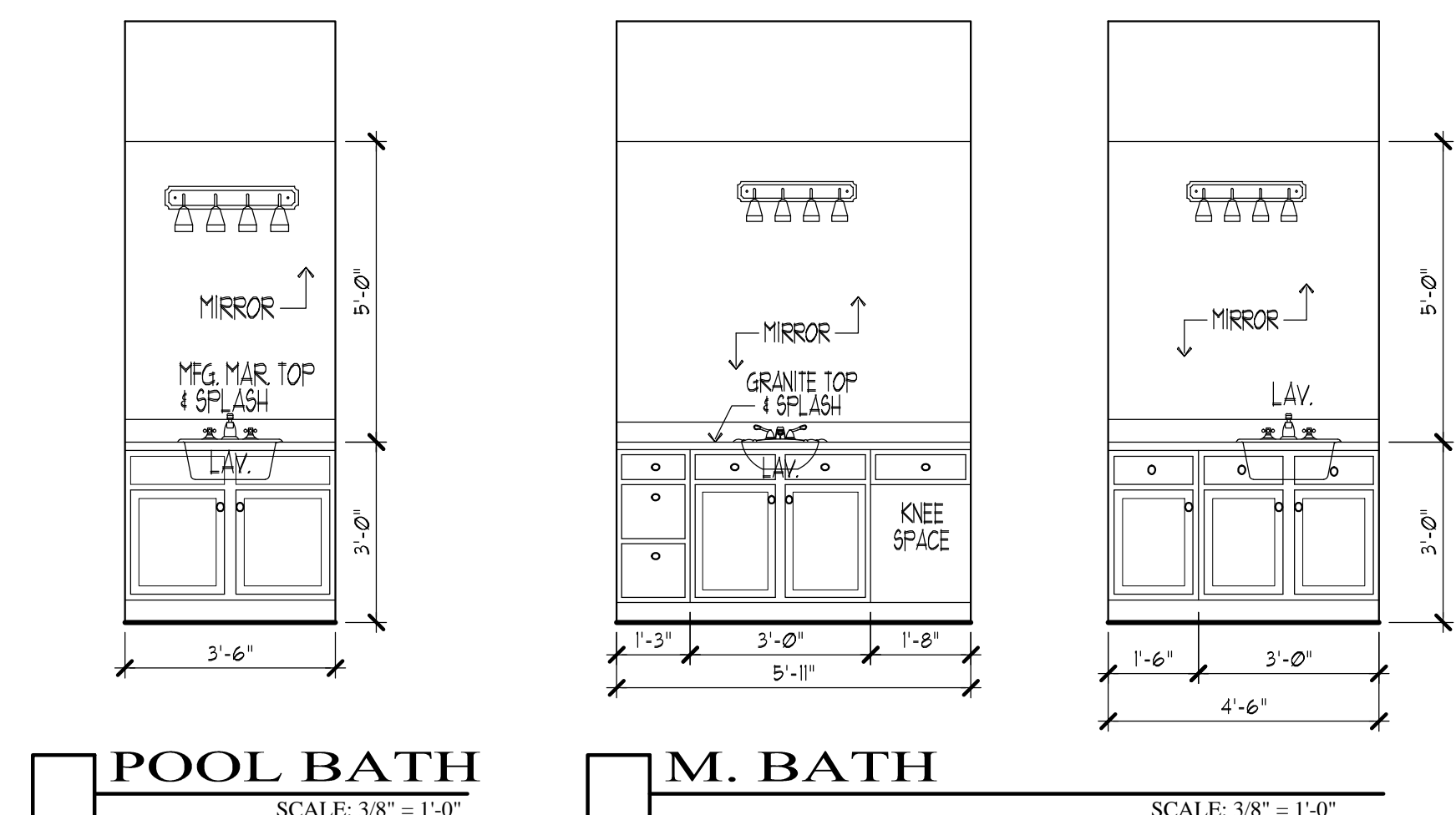
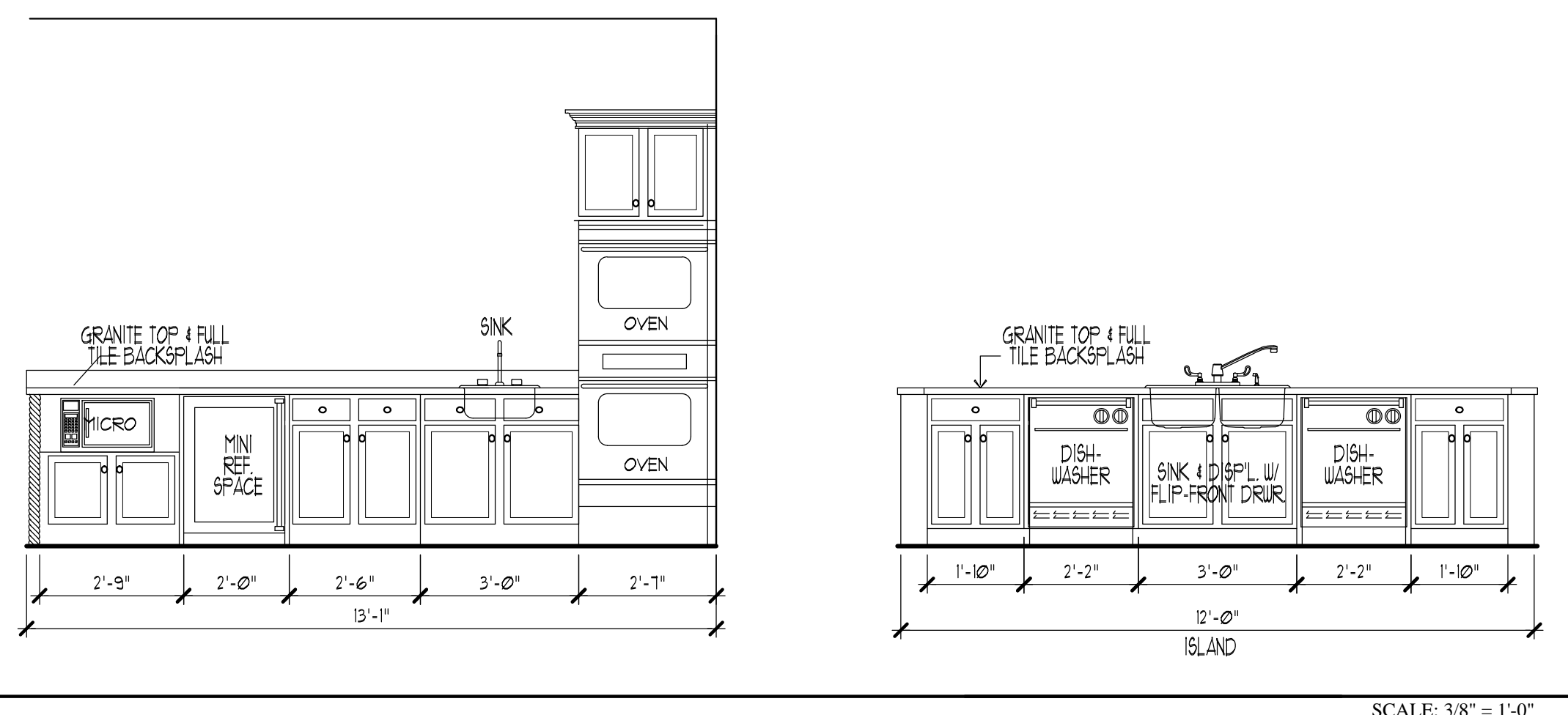
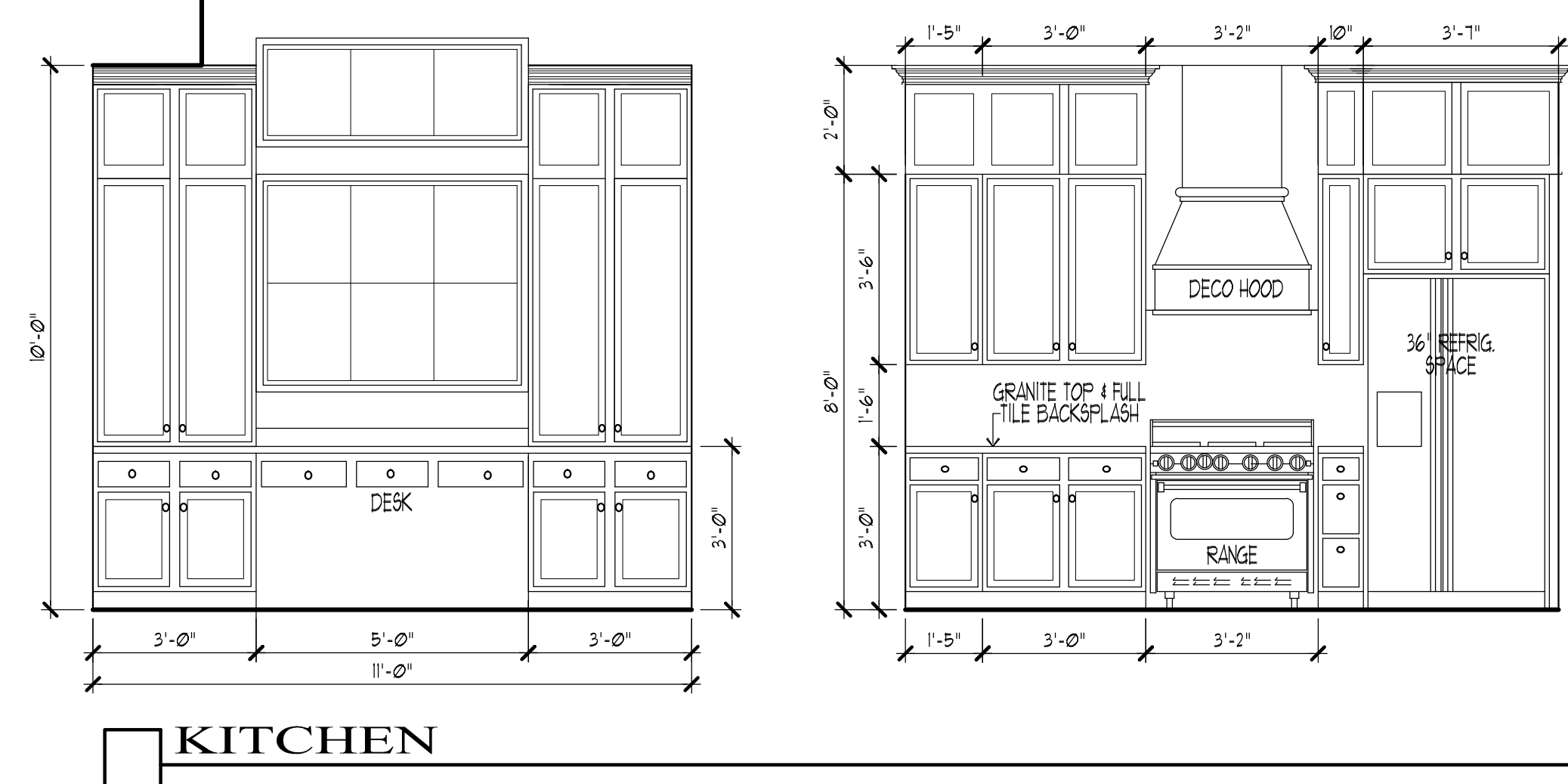
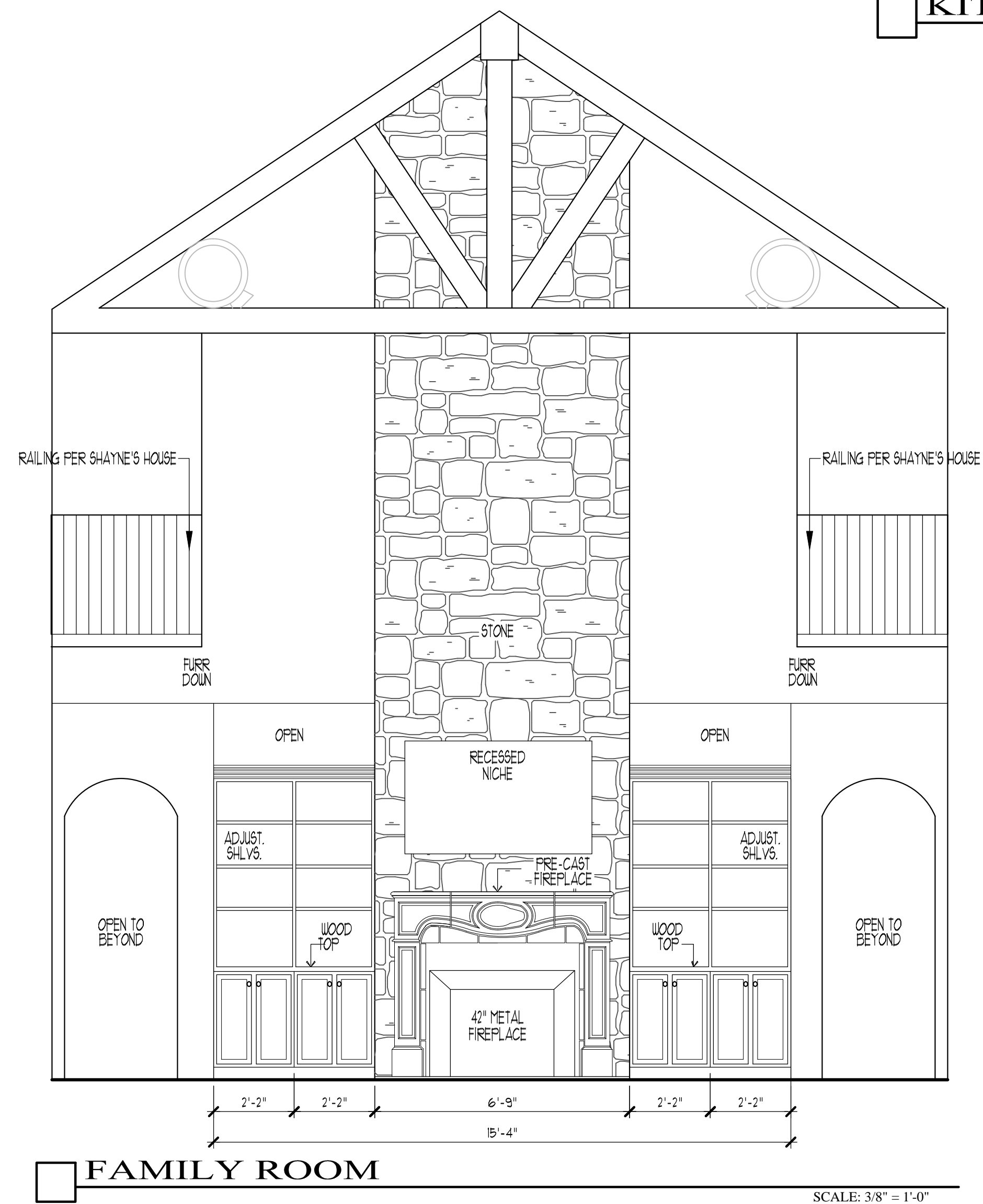
Metcalf-Mittman
R e s i d e n c e

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REVISIONS	
7-8-12	
8-16-12	

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CABINET PLAN NOTE:
 *CABINET DRAWINGS ARE FOR BIDDING PURPOSES. CABINET MAKER WILL PROVIDE FULL CABINET DRAWINGS FOR CUSTOMER APPROVAL AND SIGNATURE.

FINAL PLAN SET
 I understand this is the final plan set.
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 Signature: _____
 Date: _____

Anderson *WJ* Jenkins
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New Braunfels, TX, 78132

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Metcalf-Mittman
R e s i d e n c e

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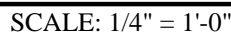
1015 PEREZ ST.
SAN ANTONIO, TX.

CONTRACTING NOTES:

All of the design concepts, working drawings and detailed plans contained herein are the sole and exclusive property of Anderson-Jenkins Signature Homes, Ltd. (Builder) and Advent Building Design, Inc. (Designer), who expressly reserves and retains the right to duplicate or modify all or part of the design without notice or compensation to the other party.

This plan, including details and accessories, as a "Bulder" type set of plans and the designer of this set of plans hereby notifies both owner and contractor that he, the "Designer" releases himself from all liabilities to said working drawings.

The Builder/Contractor shall review these plans and any discrepancies noted or omissions shall be brought to the attention of Advent Building Design, Inc. prior to construction. It is the responsibility of the Builder/Contractor to insure that the construction of this project meets "All" local codes.



Date: _____

MEP 1

ATE: 8-27-12

ew Braunfels, TX, 78132

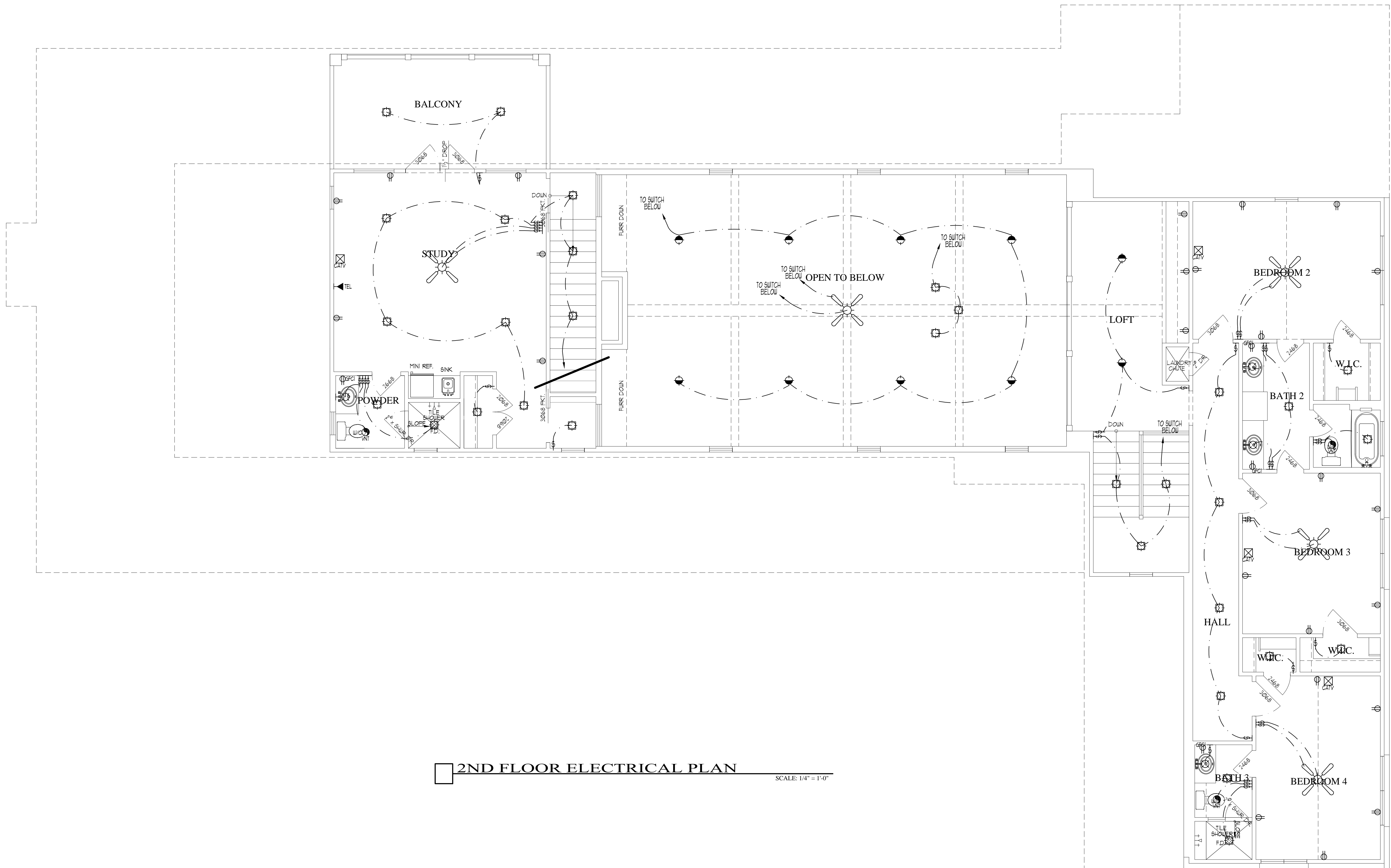
Anderson *Olly* Jenkins
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Metcalf-Mittman R e s i d e n c e

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All of the design contained herein are the property of Signature Homes, Ltd. who expressly reserves the right to the construction of these plans. This plan including design of plans and the design of both owner and contractor of liabilities to said owner. The Builder/Contractor shall be responsible for and/or omissions shall be Design prior to order. It is the responsibility of the construction of this plan.

plans, working drawings and detailed plans. The sole and exclusive property of Anderson-Strains (Builder) and Advent Building Design (Designer). (b) and retains the right to duplicate the plans in whole or in part to its sole discretion. (c) Plans and drawings are a "Builder" type set. (d) The Designer agrees that he, the Designer, will be the designer of this set of plans hereby notifies the factor that he, the "Designer" relieves himself of any liability for errors or omissions in the working drawings. (e) The factor shall review these plans and any discrepancies found shall be brought to the attention of Advent Building Design. (f) The factor shall not be responsible for any materials or starting construction. (g) The factor shall be responsible for the completion of the Builder/Contractor to insure that the project meets All local codes.



2ND FLOOR ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

PLUMBING SYMBOLS		
	WATER HEATER	
	WATER SOFTENER	
	SHOWER HEAD	
	HOSE BIB FAUCET	
	ICE MAKER IN REF.	

ELECTRICAL SYMBOLS			
	SWITCH		DUPLEX OUTLET RAISED TO HEIGHT INDICATED
	DIMMER SWITCH		WATERPROOF DUPLEX OUTLET
	THREE WAY SWITCH		J-BOX DUPLEX OUTLET
	FOUR WAY SWITCH		ELECTRICAL PANEL
	DUPLEX OUTLET		TELEPHONE OUTLET
	FLOOR OUTLET		TELEPHONE FLOOR OUTLET
	CEILING OUTLET		CABLE TELE. OUTLET
	DUPLEX OUTLET WITH GROUND FAULT INTERRUPTER		SMOKE DETECTOR
	JUNCTION BOX		THERMOSTAT
	PENDANT LIGHT		SURFACE MOUNT CLG. FIXTURE
	WALL MOUNT CLG. FIXTURE		RECESSED CEILING FIXTURE
	PUCK LIGHT		HANGING FIXTURE
	EYEBALL SPOT LIGHT FIXTURE		CEILING MOUNT EXHAUST FAN / LIGHT
	COVE LIGHT		24" FLOOR LITE
	4" FLOOR LITE		TRACK MOUNT FIXT.
	UNDER CABINET LIGHT		CEILING MOUNT EXHAUST FAN
	WALL MOUNT EXHAUST FAN		PUSH BUTTON DOORBELL
	CHIMES		COMBINATION FXT. HEAT VENT LIGHT
	FLOOD LIGHT		CEILING FAN UNIT
	WIRE		

FINAL PLAN SET
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CONTRACTOR NOTES:
• All of the design concepts, existing drawings and design plans are to be used as a guide only. The contractor is responsible for verifying all measurements and conditions in the field. (Designer)
• The contractor is responsible for obtaining all necessary permits and licenses for the project. (Designer)
• The plan includes details and dimensions for a "Builder" type set. The contractor is responsible for interpreting and executing these details. (Designer)
• The contractor is responsible for coordinating with the "Builder" to ensure that the project is completed in a timely and efficient manner. (Designer)
• The contractor is responsible for ensuring that all work is done in accordance with the applicable building codes and regulations. (Designer)
• The contractor is responsible for obtaining any necessary approvals or permits from the local authorities. (Designer)
• The contractor is responsible for ensuring that the project is completed in a safe and sound manner. (Designer)

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Metcalf-Mittman
R e s i d e n c e

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REVISIONS	
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SHEET
MEP 2