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TRANSACTION WITHOUT WRITTEN CONSENT BY THE COPYRIGHT OWNER.

LAND BOUNDARY SURVEY OF A PORTION OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 30 WEST, SANTA ROSA COUNTY, FLORIDA.....

DESCRIPTION AS FURNISHED BY CLIENT (OFFICIAL RECORDS BOOK 3719, PAGE 1942): COMMENCE AT THE SOUTHWEST CORNER OF SECTION 26, TOWNSHIP 4 NORTH, RANGE 30 WEST, SANTA ROSA COUNTY, FLORIDA; THENCE GO NORTH OO DEGREES 11'03 EAST ALONG THE WEST LINE OF SAID SECTION FOR A DISTANCE OF 1334.62 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26 AND THE POINT OF BEGINNING; THENCE CONTINUE NORTH OO DEGREES 11'03 EAST ALONG SAID WEST LINE FOR A DISTANCE OF 1294.91 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF SID HAYES ROAD (R/W UNKNOWN); THENCE GO SOUTH 89 DEGREES 19'17 EAST ALONG SAID SOUTHERLY RIGHT OF WAY LINE FOR A DISTANCE OF 605.79 FEET; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE, GO SOUTH 00 DEGREES 11'03 WEST FOR A DISTANCE OF 1306.41 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 26; THENCE GO NORTH 88 DEGREES 14'04 WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 606.00 FEET TO THE POINT OF BEGINNING.

NOTE: MAY BE SUBJECT TO REQUIREMENTS AS ESTABLISHED BY THE SANTA ROSA COUNTY LAND DEVELOPMENT CODE.

FLOOD STATEMENT:
This is to certify that I have consulted the available Federal Insurance Administration Flood Hazard Map, Map number 12113C 0155 G, dated 12/19/06 and it is my opinion that the above described property is in flood zone "X" areas determined to be outside the 0.2% annual chance floodplain.

GENERAL NOTES:

1. NO TITLE SEARCH OF PUBLIC RECORDS HAS BEEN PREFORMED BY THIS FIRM TO DETERMINE IF ANY DEFECT AND/OR AMBIGUITIES OR EASEMENT EXIST.

2. MEASUREMENTS MADE TO THE U.S. STANDARDS.

3. NOTICE: THERE MAY BE RESTRICTIONS NOT SHOWN THAT MAY BE FOUND IN THE PUBLIC RECORDS.

4. THE ACCURACY OF MEASUREMENTS PREFORMED MEETS RURAL LAND DEVELOPMENT.

5. THE BEARINGS SHOWN HEREON WERE REFERENCED TO NORTH 00 DEGREES 11 MINUTES 03 SECONDS EAST ALONG THE WEST LINE OF SECTION 26.

6. THE DIMENSIONS OF THE BUILDINGS SHOWN HEREON DO NOT INCLUDE THE EAVE OVERHANG OR THE FOOTINGS THEREOF.

ONLY ACTS OF POSSESSION, IF ANY THAT ARE VISIBLE FROM A CASUAL INSPECTION AS TO THE EXISTENCE OF ACTS OF POSSESSION BY ADJOINERS TO THE LANDS SHOWN AND DESCRIBED HEREON.
 NO "WETLANDS" JURISDICTIONAL LINES WERE LOCATED (UNLESS INDICATED ON SURVEY).
 THE CERTIFICATE OF AUTHORIZATION NUMBER FOR BENCHMARK SURVEYING

AND LAND PLANNING, INC. IS (LICENSED BUSINESS #5170).

10. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.

11. THE SURVEY DATUM SHOWN HEREON WAS REFERENCED TO EXISTING MONUMENTATION, FURNISHED DEEDS OF RECORD, SURVEY DRAWINGS BY BENCHMARK SURVEYING AND LAND PLANNING, INC., JOB NO. L16-780-2201, DATED 10/26/2016, SURVEY BY EMPIRE LAND-SURVEYING, INC., ORDER NO. 150-16-2C AND 150-16-2B, DATED 12/27/2016.

12. F.S. 5J.17.051-17.053" NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL PAISED. SEAL OF A SIGNATURE OF THE SIGNATURE AND THE ORIGINAL

12. F.S. 5J.17.051-17.053" NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINA RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER" ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

13. NO "UNDERGROUND" UTILITY LINES WERE LOCATED (UNLESS INDICATED ON SURVEY).

NOTE:
THE SURVEY SHOWN HEREON WAS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON, LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

CERTIFICATIONS:

I HEREBY CERTIFY TO CHRISTINA L. RESMONDO, PEN AIR FEDERAL CREDIT UNION, GUARANTEE TITLE OF NORTHWEST FLORIDA, INC. AND OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SURVEYORS CERTIFICATE:

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THOMAS E. NICHOLS, P.L.S., FL#4657

DATE: JUNE 05, 2018
UNLESS IT BEARS THE

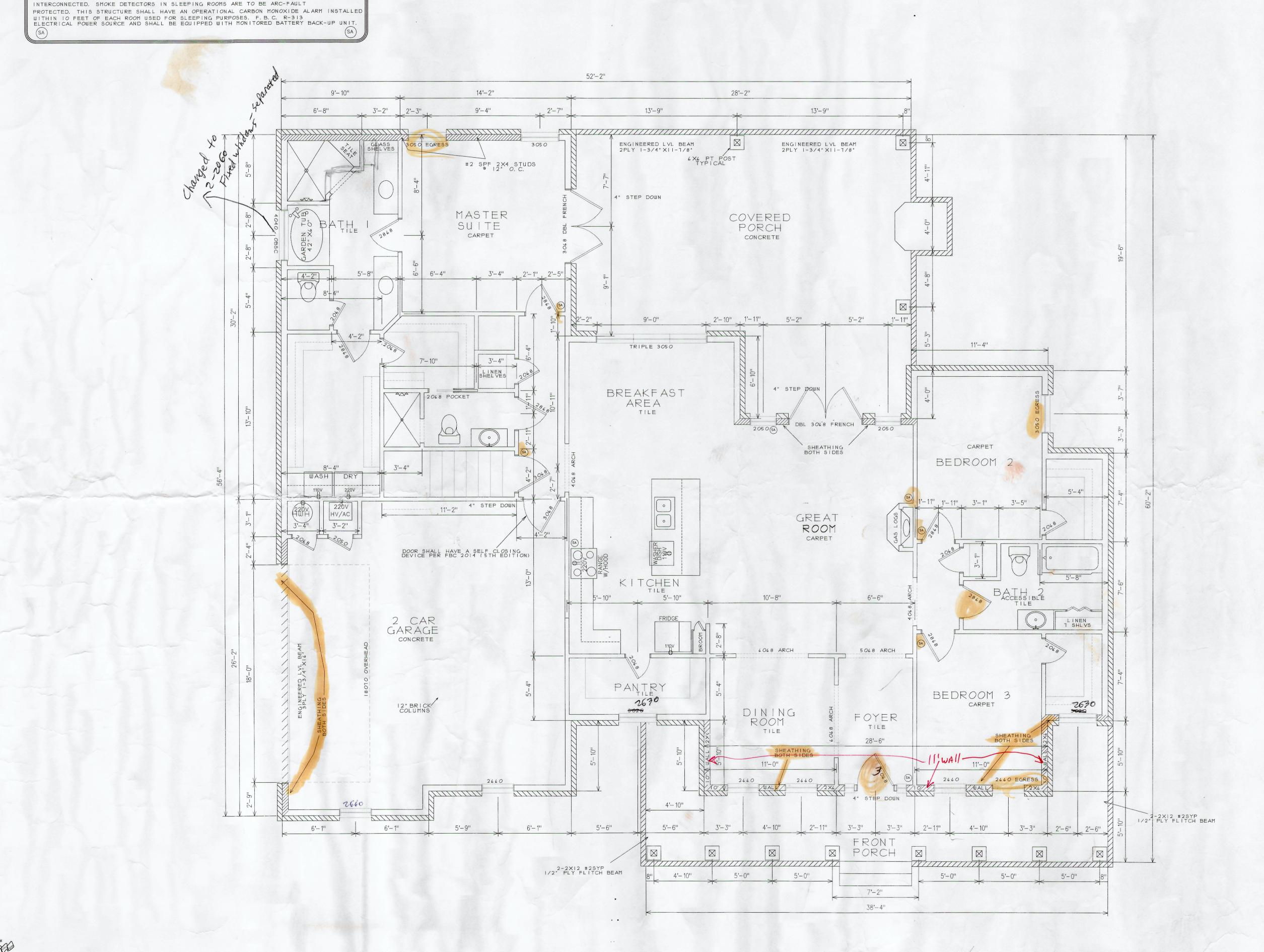
UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS MAP/REPORT IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

FOR

CHRISTINA L. RESMONDO

A PORTION OF SECTION 26, TOWNSHIP 4 NORTH,
RANGE 30 WEST, SANTA ROSA COUNTY ELOPIDA

RANGE 30 WEST, SANTA ROSA COUNTY, FLORIDA REVISIONS Benchmark DATE: Surveying & Land Planning, Inc. 7200 Chumuckla Highway Pace, Florida 32571 (850) 994-4882 FIELD BOOK: 58-59 736 DRAWN BY 62-64 6//5/18 JOB NO. L18-283 2431 APPROVED: SHEET NO, " = 100"TEN 1 OF 1



PROPOSED RESIDENCE FOR CHRISTY RESMONDO KEN SESSIONS

SANTA ROSA COUNTY

SHEET

ANY VARIATION AND/OR ALTERATIONS TO THE PLANS MUST HAVE PRIOR APPROVAL

2017 2641

S. F. UNDER ROOF

LIVING
FRONT PORCH
567

GARAGE

TOTAL: 3583

NOTE

OWNER/BUILDER

TO VERIFY ALL

PLAN DIMENSIONS

SECTION R313. I-SMOKE DETECTORS ARE REQUIRED INSIDE ALL SLEEPING ROOMS AND IN THE IMMEDIATE VICINITY OUTSIDE ALL SLEEPING ROOMS AND ARE TO BE

