

## **GREENWORKS SERVICE COMPANY**

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## GW STANDARD HOME INSPECTION

1006 FM1855 Marble Falls, TX 78654



Inspector

**Rick Stephens** TREC #24169, TBPE FIRM #20170, MOLD FIRM #ACO1162, LEAD FIRM #2110697, ASBESTOS AGENCY #100576, TPCL FIRM #0761253

512-994-2323

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Inspector

Greg McDonald TREC #24412, TBPE FIRM #20170, MOLD FIRM #ACO1162, LEAD FIRM #2110697, ASBESTOS AGENCY #100576, TPCL FIRM #0761253

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# PROPERTY INSPECTION REPORT FORM

Praveen Guduru	04/01/2022 2:30 pm
Name of Client	Date of Inspection
1006 FM1855, Marble Falls, TX 78654	
Address of Inspected Property	
Rick Stephens, Greg McDonald	TREC #24169, TBPE FIRM #20170, MOLD
Name of Inspector	ASBESTOS AGENCY #100576, TPCL FIRM
Name of Sponsor (if applicable)	#0761253, TREC #24412, TBPE FIRM #20170, MOLD FIRM #ACO1162, LEAD FIRM
PURPOSE OF INSPECTION	#2110697, ASBESTOS AGENCY #100576, TPCL FIRM #0761253

#### PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

#### RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535,233).

#### RESPONSIBILTY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

#### REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

#### NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

#### PURPOSE, LIMITATIONS AND INSPECTOR / CLIENT RESPONSIBILITIES

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions. If any item or comment is unclear, you should ask the inspector to clarify the findings. It is important that you carefully read ALL of this information.

This inspection is subject to the rules ("Rules") of the Texas Real Estate Commission ("TREC"), which can be found at www.trec.texas.gov.

The TREC Standards of Practice (Sections 535.227-535.233 of the Rules) are the minimum standards for inspections by TREC-licensed inspectors. An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection. While there may be other parts, components or systems present, only those items specifically noted as being inspected were inspected. The inspector is NOT required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is NOT required to climb over obstacles, move furnishings or stored items. The inspection report may address issues that are codebased or may refer to a particular code; however, this is NOT a code compliance inspection and does NOT verify compliance with manufacturer's installation instructions. The inspection does NOT imply insurability or warrantability of the structure or its components. Although some safety issues may be addressed in this report, this inspection is NOT a safety/code inspection, and the inspector is NOT required to identify all potential hazards.

In this report, the inspector shall indicate, by checking the appropriate boxes on the form, whether each

item was inspected, not inspected, not present or deficient and explain the findings in the corresponding section in the body of the report form. The inspector must check the Deficient (D) box if a condition exists that adversely and materially affects the performance of a system or component or constitutes a hazard to life, limb or property as specified by the TREC Standards of Practice. General deficiencies include inoperability, material distress, water penetration, damage, deterioration, missing components, and unsuitable installation. Comments may be provided by the inspector whether or not an item is deemed deficient. The inspector is not required to prioritize or emphasize the importance of one deficiency over another.

Some items reported may be considered life-safety upgrades to the property. For more information, refer to Texas Real Estate Consumer Notice Concerning Recognized Hazards or Deficiencies below.

THIS PROPERTY INSPECTION IS NOT A TECHNICALLY EXHAUSTIVE INSPECTION OF THE STRUCTURE, SYSTEMS OR COMPONENTS. The inspection may not reveal all deficiencies. A real estate inspection helps to reduce some of the risk involved in purchasing a home, but it cannot eliminate these risks, nor can the inspection anticipate future events or changes in performance due to changes in use or occupancy. It is recommended that you obtain as much information as is available about this property, including any seller's disclosures, previous inspection reports, engineering reports, building/remodeling permits, and reports performed for or by relocation companies, municipal inspection departments, lenders, insurers, and appraisers. You should also attempt to determine whether repairs, renovation, remodeling, additions, or other such activities have taken place at this property. It is not the inspector's responsibility to confirm that information obtained from these sources is complete or accurate or that this inspection is consistent with the opinions expressed in previous or future reports.

ITEMS IDENTIFIED IN THE REPORT DO NOT OBLIGATE ANY PARTY TO MAKE REPAIRS OR TAKE OTHER ACTIONS, NOR IS THE PURCHASER REQUIRED TO REQUEST THAT THE SELLER TAKE ANY ACTION. When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified service professionals. Any such follow-up should take place prior to the expiration of any time limitations such as option periods. Evaluations by qualified tradesmen may lead to the discovery of additional deficiencies which may involve additional repair costs. Failure to address deficiencies or comments noted in this report may lead to further damage of the structure or systems and add to the original repair costs. The inspector is not required to provide follow-up services to verify that proper repairs have been made.

When a deficiency is reported, it is the client's responsibility to obtain further evaluations and/or cost estimates from qualified and licensed (if applicable) service professionals. Property conditions change with time and use. For example, mechanical devices can fail at any time, plumbing gaskets and seals may crack if the appliance or plumbing fixture is not used often, roof leaks can occur at any time regardless of the apparent condition of the roof, and the performance of the structure and the systems may change due to changes in use or occupancy, effects of weather, etc. These changes or repairs made to the structure after the inspection may render information contained herein obsolete or invalid. This report is provided for the specific benefit of the client named above and is based on observations at the time of the inspection. If you did not hire the inspector yourself, reliance on this report may provide incomplete or outdated information. Repairs, professional opinions or additional inspection reports may affect the meaning of the information in this report. It is recommended that you hire a licensed inspector to perform an inspection to meet your specific needs and to provide you with current information concerning this property.

#### TEXAS REAL ESTATE CONSUMER NOTICE CONCERNING HAZARDS OR DEFICIENCIES

Each year, Texans sustain property damage and are injured by accidents in the home. While some accidents may not be avoidable, many other accidents, injuries, and deaths may be avoided through the identification and repair of certain hazardous conditions. Examples of such hazards include:

malfunctioning, improperly installed or missing ground fault circuit protection (GFCI) devices for electrical receptacles in garages, bathroom, kitchens, and exterior areas;

malfunctioning arc fault protection (AFCI) devices;

ordinary glass in locations where modern construction techniques call for safety glass;

malfunctioning or lack of fire safety features such as, smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;

malfunctioning carbon monoxide alarms;

excessive spacing between balusters on stairways and porches;

improperly installed appliances;

improperly installed or defective safety devices;

lack of electrical bonding and grounding; and lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

To ensure that consumers are informed of hazards such as these, the Texas Real Estate Commission (TREC) has adopted Standards of Practice requiring licensed inspectors to report these conditions as "Deficient" when performing an inspection for a buyer or seller, if they can be reasonably determined.

These conditions may not have violated building codes or common practices at the time of the construction of the home, or they may have been "grandfathered" because they were present prior to the adoption of codes prohibiting such conditions. While the TREC Standards of Practice do not require inspectors to perform a code compliance inspection, TREC considers the potential for injury or property loss from the hazards addressed in the Standards of Practice to be significant enough to warrant this notice.

Contract forms developed by TREC for use by its real estate licensees also inform the buyer of the right to have the home inspected and can provide an option clause permitting the buyer to terminate the contract within a specified time. Neither the Standards of Practice nor the TREC contract forms requires a seller to remedy conditions revealed by an inspection. The decision to correct a hazard or any deficiency identified in an inspection report is left to the parties to the contract for the sale or purchase of the home.

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#### ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Note to clients: Upon downloading or printing this report from e-mail, some users have found that some of the checkmarks in the boxes are not marked; this is due to the fact that their computers may not have the correct fonts installed. Should your report lack these checkmarks or have any other flaws please contact us immediately for a faxed copy. GreenWorks recommends that only professionally licensed contractors complete any repairs listed, prior to closing. The inspection does not include any destructive testing or dismantling. It is possible that in the process of repair, items may be discovered that were not apparent to the inspector at the original time of inspection. Inspectors cannot be held liable for such hidden defects by the client(s). This report is prepared exclusively for the above named Client(s). It cannot be transferred to or used by any other parties in any form. Client(s) gives permission for the Inspector to discuss report findings with real estate agents, lenders, specialists, or repair persons for the sake of clarification. Additional pages may be attached to this report. Read them very carefully. This report may not be complete without the attachments. Comments may be provided by the inspector whether or not an item is deemed in need of repair. Additional information may be obtained at our website: www.GreenWorksInspections.com

NOTE: Pictures are a representative sample, and do not display every defect.

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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

TITLE PAGES

**☒** □ □ Additional Info Provided By Inspector

Inspection Scope: Full (All Utilities Were Turned On)

Occupancy: Staged (Viewing Restricted)

Structure Type: House Parties Present: N/A

Additional Documents Provided: N/A

Weather Conditions: Sunny

Additional Written Information Provided: Yes

Remodeled?: Yes
New Const?: No
Additions?: No
Property Faces: South

*Property Faces:* South

Arrival Temperature (Approximate): 60's Departure Temperature (Approximate): 70's

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NI NP D

I. STRUCTURAL SYSTEMS

#### ☑ □ ☑ A. Foundation

Comments:

Foundation Type: Pier & Beam / Slab on Ground Combination

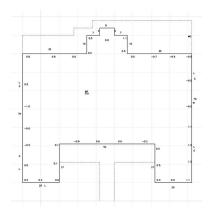
Foundation Visibility: Partly Visible Foundation Performance Opinion:

Not Performing As Intended - Prior to closing, the foundation should be inspected by a qualified professional engineer, familiar with the soils and construction methods of the region, in order to determine if permanent repairs are required.

## Elevation Map:

Disclaimer: The attached elevations are used for information purposes only and should not be used for serious negotiations. GreenWorks inspectors are not qualified professional engineers and are not attempting to imitate one. If you have any concerns about the foundation life expectancy, insurability, or the potential for future problems, a professional engineer should be consulted.

**D=Deficient** 



#### Crawlspace Photos:



NI=Not Inspected

NP=Not Present

D=Deficient



I=Inspected

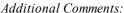
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#### NI NP D





Some trees may remove a few hundred gallons of water in a single day through transpiration and if they are allowed to grow too close to the structure could cause foundation problems.

Soil movement, settlement, or upheaval is directly transmitted to the foundation. It is not unusual to see a foundation in this region move in response to moisture various that normally attend seasonal changes. Settlement of a foundation that is seasonal related usually occurs during the hot and dry summer months when the soil can sometimes dry out to a depth of more than ten feet. This drying or desiccation occurs from soil surface evaporation and transpiration of water from vegetation. Large bushes such as Red Tip Photinias and River-bottom trees consume a lot of water and should not be planted near a foundation. Heaving of a foundation that is seasonally related usually occurs during the colder and wetter months. Usually the winter months are wetter, so soils in our area tend to swell and raise the foundation. Differential foundation movement is normally the result of variations in the moisture content of the soil such as: non-uniform watering of vegetation, poor drainage way from the foundation, or leaking plumbing lines. It is possible that portions of a foundation that have previously not moved can move sometime in the future. It should be noted that clay type soils have higher bearing capacity but are subject to more movement, while sandy type soils have lower bearing capacity but are subject to less movement.

The inspector is not a professional engineer and is giving an opinion as mandatory. If you have any concerns about the foundation life expectancy, insurability, or the potential for future problems, a professional engineer should be consulted.

#### Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) enter a crawl space or any area where headroom is less than 18 inches or the access opening is less than 24 inches wide and 18 inches high;

(B) provide an exhaustive list of indicators of possible adverse performance; or

(C) inspect retaining walls not related to foundation performance.

The foundation performance opinion stated below neither in any way addresses future foundation movement or settlement, nor does it certify floors to be level. Soil in the Central Texas area is known to be unstable and unpredictable. Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with your builder and/or a licensed Professional Structural Engineer for further evaluation

#### High Soil:

The high soil around the structure should be trimmed and lowered to allow observation for insect activity. This condition is also conducive to moisture issues.

#### Crawlspace:

View of Sub Flooring and Crawl Space is Limited. Crawlspace is Viewed from Accessible Areas Only.

I=Inspected

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NI NP D

Crawlspace Subfloor Insulation:

Insulation was present on the subfloor. This prevents the inspector from visually inspecting the subfloor or any damage and water leaks.

#### 1: Foundation Levels - Out of Tolerances

Recommendation

Based on an elevation survey taken at time of inspection, the foundation appears to have moved beyond industry accepted tolerances and should be further evaluated by a professional engineer to determine if permanent repairs are needed.

Recommendation: Contact a qualified professional engineer

#### 2: Tree Close To Foundation

Recommendation

There are trees growing in close proximity to the foundation wall. Tree root systems can take as much as 50-60 gallons of water away from the foundation per day.

Recommendation: Contact a qualified professional.



Right Side

## 3: Insulation

Recommendation

Insulation is loose, damaged and hanging at some areas on the subfloor.

Recommendation: Contact a qualified professional.





**☒** ☐ **☒** B. Grading/Drainage

Comments:

Gutters Present: No

Positive Slope on All Sides of Home: No - Flat on the Right Side

Evidence of Water Penetration: No

Area Drains Present: No

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#### NI NP D

#### Additional Information:

The strategy of a foundation is important. Expansive clay soils, which are found in this part of Texas, can be very destructive to a foundation if the moisture content of the perimeter varies. The industry standard is a grading slope of six inches within the first ten feet of a foundation. Excessive moisture forming near a structure can be destructive to a foundation. If adding soil to the perimeter to create positive drainage, remember to the keep the soil level at least 4 inches from the top of the foundation. If you are able to verify that the structure is built on a clay type soil (as determined by a soil analysis testing) then that type of soil should be used to raise the soil level. Porous soils should be avoided.

Ideally finished grade, including flower bed soil, should be 4"from the top of the foundation to help prevent conducive conditions for water penetration and/or wood destroying insects.

It is recommended that all areas where expansive or collapsible soils are known to exist, a controlled method of water disposal from the roofs that will collect and discharge all roof drainage to the ground surface at least 5' from the foundation or to an approved drainage system.

#### Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) inspect flatwork or detention/retention ponds (except as related to slope and drainage);
- (B) determine area hydrology or the presence of underground water; or
- (C) determine the efficiency or performance of underground or surface drainage systems. During heavy rains, the accumulation of water on this lot may be unavoidable. An evaluation of soil stability is beyond the scope of this inspection. Client is advised to keep soil levels 6"-8" from top of slab and graded away to promote positive drainage and prevent water from ponding around the foundation. High soil is a conducive condition to wood destroying insects.

## 1: Under-Exposure

#### Recommendation

There were areas of insufficient exposure of the foundation wall. Preferably 6 to 8 inches of foundation exposure should be present around the perimeter of the home. The higher the soil level the more inviting it is for wood destroying insect activity and moisture intrusion.

Recommendation: Contact a qualified professional.



Front

## 2: Flat Grading Recommendation

All surface runoff water should empty to the street and / or alleyway as is practical. There should be a positive slope away from the building on ALL sides.

Recommendation: Contact a qualified grading contractor.

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NI NP D



Right Side

## 3: Exterior Grade Higher Than Crawlspace Vents

Recommendation

The exterior grade is higher than the crawlspace vents. This may allow for water penetration into the crawlspace during rainfall.

Recommendation: Contact a qualified professional.

## 4: Cracked Walkway

➢ Handyman/Maintenance Item

Cracking was noted at the walkway around the home.

Recommendation: Contact a qualified professional.



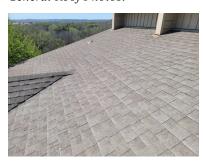
Front

Right Side

## ☑ □ □ ☑ C. Roof Covering

Comments:

General Roof Photos:







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## NI NP D



Roof Viewed From: Roof, Ladder, Ground

Weather Conditions: Sunny

Roof Covering Materials: Asphalt composition

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) determine the remaining life expectancy of the roof covering;
- (B) inspect the roof from the roof level if, in the inspector's reasonable judgment, the inspector cannot safely reach or stay on the roof or significant damage to the roof covering materials may result from walking on the roof:
- (C) determine the number of layers of roof covering material;
- (D) identify latent hail damage;
- (E) exhaustively examine all fasteners and adhesion, or
- (F) provide an exhaustive list of locations of deficiencies and water penetrations.

Roof materials have a limited service life and may require spot repairs should leaks develop prior to replacement. Roof maintenance is an ongoing process and includes keeping the roof free of tree debris, replacing any loose, damaged, or missing shingles, and sealing any gaps at flashing materials. This report

I=Inspected NI=Not Inspected

NI NP D

**D=Deficient** NP=Not Present

neither addresses future roof leaks nor does it certify the roof to be leak-free. A roofing specialist should be consulted about any concerns over roof covering life expectancy or the potential for future problems. Please note: Homeowners insurance companies use different standards and criteria for determining whether they will issue an insurance policy. These standards differ from each insurance company, as each has their own standards. Please be advised that this report does not certify nor guarantee that an insurance company will accept or reject an insurance policy based on the condition of this roof. This roof is not inspected for Insurability or Life Expectancy, and is inspected for function ONLY. As the purchaser, you may wish to have your insurance carrier inspect for insurance coverage.

#### General Roof:

The roofing inspection is a visual attempt to find major defects present at the time of inspection. If you have any concerns about the roof covering life expectancy, insurability or the potential for future problems, a roofing specialist should be consulted.

#### 1: Trees Close

## Recommendation

There were tree limbs in close proximity to and/or touching the roof line. Trees should be trimmed to a minimum of 3 feet away from the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation: Contact a qualified tree service company.



#### 2: Tree Overhang Recommendation

Trees observed overhanging the roof. This can cause damage to the roof and prevent proper drainage. Recommend a qualified tree service trim to allow for proper drainage.

Recommendation: Contact a qualified tree service company.



#### 3: Aggregate Loss Recommendation

Aggregate loss was observed at the roofing material. Excessive aggregate loss can result in the prevention of the roofing material performing its intended function, which is to shed water.

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## NI NP D

Recommendation: Contact a qualified roofing professional.



## 4: Damaged Shingles Recommendation

Damaged shingles were observed at the time of inspection. Repair or replacement is recommended.

Recommendation: Contact a qualified roofing professional.



# 5: Fasteners - Exposed Recommendation

Exposed fasteners. Fasteners should be sealed to prevent water penetration.

Recommendation: Contact a qualified roofing professional.



## 6: Kick out Flashing

Recommendation

Kick out flashing was not observed at the wall/roof connection point. Kick out flashing should be installed where the roof terminates along a vertical wall so as to reduce the possibility of water entering the home.

Recommendation: Contact a qualified roofing professional.

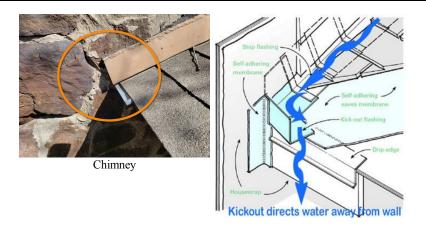
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## 7: Flashing Rust

## Recommendation

There was rust on the flashings. Rusted flashing may allow water to seep through and enter the home.

Recommendation: Contact a qualified roofing professional.



## 8: Shingles - Aged, worn, and damaged

#### Recommendation

There were aged, worn, and damaged shingles and ridge. Repair or replacement is recommended.

Recommendation: Contact a qualified roofing professional.



## 9: Possible Hail Damage - Vents and Chimneys

## Recommendation

There were areas of spotty damage on the vents and chimneys.

Recommendation: Contact a qualified roofing professional.

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## NI NP D



## 10: Damaged Stack Boots

Recommendation

The vent boot seals were damaged and separating. Replacement is recommended.

Recommendation: Contact a qualified roofing professional.



Right Side

## 11: Satellite Dish

Recommendation

There was a satellite dish installed on the roof. Due to the penetrations in the roof this area is prone to future leaking.



12: Wavy Roof
Recommendation

The roof is wavy in areas.

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## 13: Uplifted Flashing

Recommendation

Flashing was uplifted and not properly sealed. This can allow water penetration into the structure. Repairs are recommended.

Recommendation: Contact a qualified professional.



#### 14: Moss on Roof Surface

Recommendation

Lichen and/or moss like growth was observed on the shingles. This can cause shingles to deteriorate. Recommend consultation with a qualified roofing professional for removal options.

Recommendation: Contact a qualified roofing professional.



D. Roof Structure and Attic

Comments:

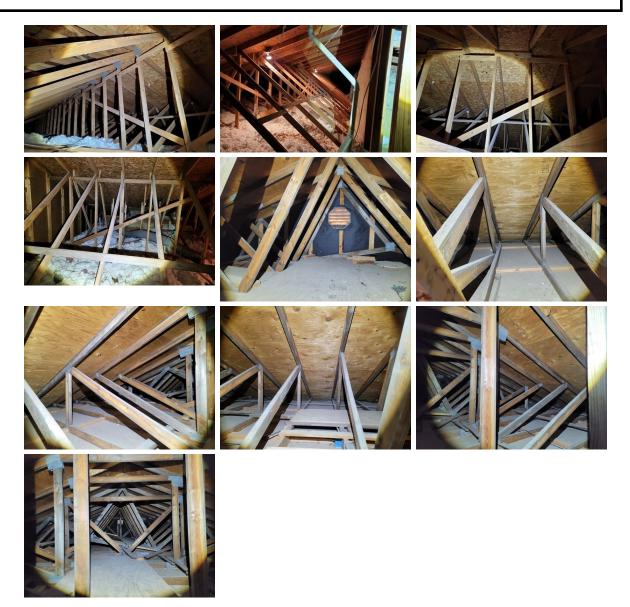
General Attic Photos:

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## NI NP D



Roof Decking Type: Plywood

Framing Type: Truss

Ventilation Type: Gable, Passive Vent, Power Turbine(s)

Attic Entry Point: Interior

Attic Inspected: Yes - From attic opening ONLY

Insulation Type: Fiberglass

Insulation Amount: 12 - 18 inches - Attic Floor Attic Temperature (Approximate °F): 81-90

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## NI NP D



Attic Humidity (Approximate %): 31-40



Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) enter attics or unfinished spaces where openings are less than 22 inches by 30 inches or headroom is less than 30 inches;

(B) operate powered ventilators; or

(C) provide an exhaustive list of locations of deficiencies and water penetrations.

The inspector cannot enter an attic with less than 5' (feet) of vertical clearance, or where he reasonably determines that conditions or materials may be unsafe. Insulation covering structural, mechanical, or electrical components may preclude inspection of these items. The inspector will report his/her attic inspection point.

Insulation improvements may be cost effective depending on the anticipated term of ownership. For your information the Department of Energy currently recommends an insulation value of R-30 to R-60 for the attic area. The R-Value is determined by the depth of the insulation, type of insulation used (bats, rolls, loose-fill, etc.) and the material the insulation is made of (fiberglass, rock wool, cellulose, etc.)

#### Attic:

Attic Space is Limited. Viewed from Accessible Areas Only. Insulation is not lifted, moved, or disturbed to observe for hidden defects or concerns.

Attic - Safe Walkboards Only:

Attic observed from safe walk boards only. Entered attic and performed an incomplete limited visual inspection due to obstructions and inaccessible areas.

#### 1: Insulation Low - Infrared

Recommendation

There were areas of low/missing insulation observed with the infrared camera.

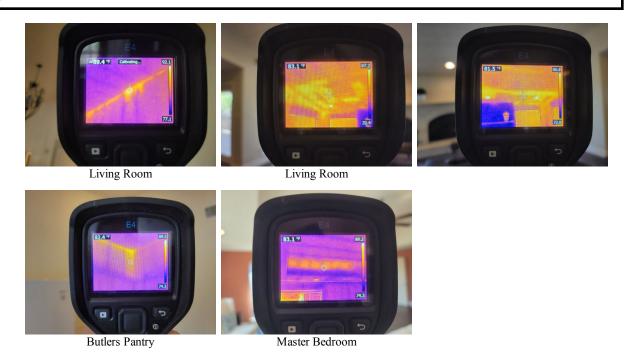
Recommendation: Contact a qualified insulation contractor.

I=Inspected NI=Not Inspected

NP=Not Present

D=Deficient





## 2: Light From Exterior Visible From Attic

Recommendation

Light from the exterior was visible from within the attic.

Recommendation: Contact a qualified professional.



- □ □ E. Walls (Interior and Exterior)

  Comments:
- **▼** □ □ **▼** Exterior Front Exterior Photos:

I=Inspected NI=Not Inspected NP=Not Present

NI NP D



D=Deficient

Rear Exterior Photos:



Page 21 of 83

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient









Left Exterior Photos:











Right Exterior Photos:







NI=Not Inspected I=Inspected

NI D NP=Not Present **D=Deficient** 

## NP







Exterior Wall Cladding Type: Stone, Wood or Wood Like Product

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) report cosmetic damage or the condition of floor, wall, or ceiling coverings; paints, stains, or other surface coatings; cabinets; or countertops,
- (B) provide an exhaustive list of locations of deficiencies and water penetrations, (C) report the condition of awnings, blinds, shutters, security devices, or other non □structural systems; or
- (D) determine the cosmetic condition of paints, stains, or other surface coatings.
- The inspector cannot determine the condition of wood or structural components hidden within wall cavities. No opinion as to the condition of the wood, structural members, vapor barriers, insulation, or other components in hidden areas is implied or intended by this report.

#### 1: Lack of Sealed Penetrations

Recommendation

It is recommended that all protrusions through the siding and fixtures mounted on the exterior be sealed in order to prevent moisture incursion. Using a quality exterior caulk type sealant around pipes, wires, light fixtures etc. can prevent moisture related failure of electrical components and siding materials.

Recommendation: Contact a qualified professional.



Right Side

## 2: Separation - Exterior Trim

Recommendation

Areas of trim were separating and lacked proper caulking. These areas are for conducive for water penetration into the home.





I=Inspected

NI NP D

D=Deficient NI=Not Inspected NP=Not Present

#### Front Left Side

## 3: Rot/Exposed Wood - Siding/Trim

#### Recommendation

There were various areas of rot and damage to the exterior siding and trim materials. Repair or replacement is recommended.

Recommendation: Contact a qualified professional.





Right Side

Right Side Entryway

#### 4: Ground Clearance

#### Recommendation

Inadequate clearance between veneer and ground. Recommend a minimum ground clearance between bottom of veneer and ground of 4". Veneer in contact with the ground or soil is a concern for damage, wood destroying insect activity, and moisture intrusion.

Recommendation: Contact a qualified siding specialist.







Right Side

Right Side Garage

Left Side

## 5: Unpainted Exterior Wood Material

#### Recommendation

There were areas of unpainted wood at the exterior.

Recommendation: Contact a qualified painting contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D





Right Side Entryway

## 6: Chipped/Missing Paint

Recommendation

Chipped and missing paint observed at exterior walls. There were areas of discoloration.

Recommendation: Contact a qualified painting contractor.



Front Garage

# 7: Stone Deflection Recommendation

There were areas of deflection at the exterior wall.

Recommendation: Contact a qualified masonry professional.



## 8: Missing Mortar Recommendation

Mortar was missing at the exterior walls. Repair is recommended to prevent water penetration.

Recommendation: Contact a qualified masonry professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D



Left Side Front

## 9: Stone/Mortar Separation

Recommendation

There were areas of stone and mortar separation at the exterior walls.

Recommendation: Contact a qualified masonry professional.



10: Siding Gapped at Connections

Recommendation

There was siding present that was gapped at the connection points

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D





Right Side Roof

Right Side

## 11: Damaged Siding/Trim

Recommendation

There were areas of damaged siding and trim materials. Repair or replacement is recommended.

Recommendation: Contact a qualified professional.







Right Side Rear

Left Side Front

Front Garage

## 12: Frieze Board Separation

Recommendation

There was an area of frieze board separation.





Front Right Side

Right Side Front

## 13: Previous Repair

➢ Handyman/Maintenance Item

There were repaired cracks and separations present at the exterior wall. Some mortar joints were much larger and a different color than surrounding joints at the walls of the home.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D



Front Left Side

## 14: Trim/Siding Gaps

Recommendation

There were gaps at the exterior surfaces. These areas can allow water penetration into the structure. It is recommended these areas be sealed.

Recommendation: Contact a qualified professional.



## 15: Holes Exterior Walls

Recommendation

There were holes in the exterior walls that should be sealed.

Recommendation: Contact a qualified professional.



Chimney Under Rear Patio

## 16: Window Frame Separation

Recommendation

Observed window frame separation at the home.

Recommendation: Contact a qualified professional.

D

I=Inspected

NI=Not Inspected NP=Not Present D=Deficient

#### NI NP



Front Right Side

Right Side

#### $\mathbf{X}$ $\mathbf{X}$ Interior

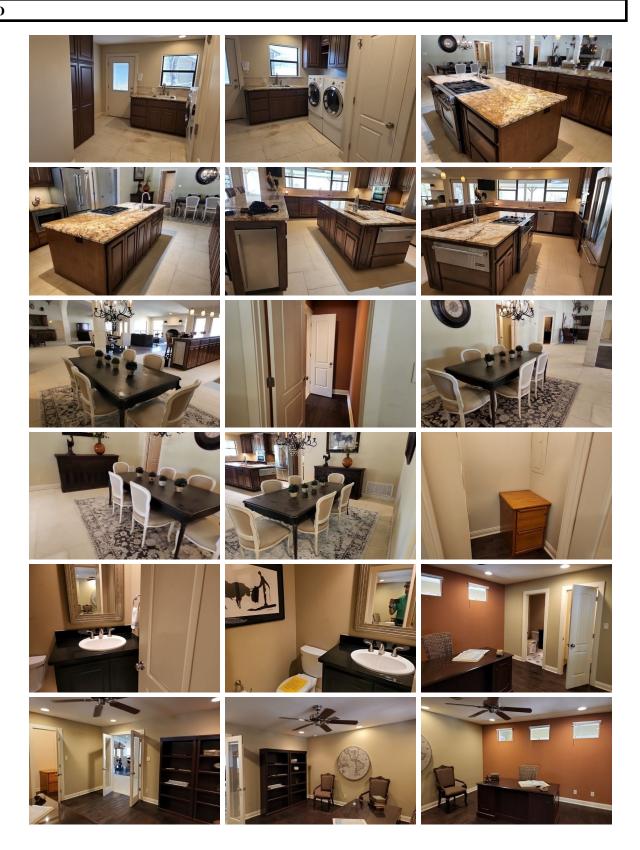
Interior Photos:



NI=Not Inspected

NP=Not Present

D=Deficient



NI=Not Inspected

NP=Not Present

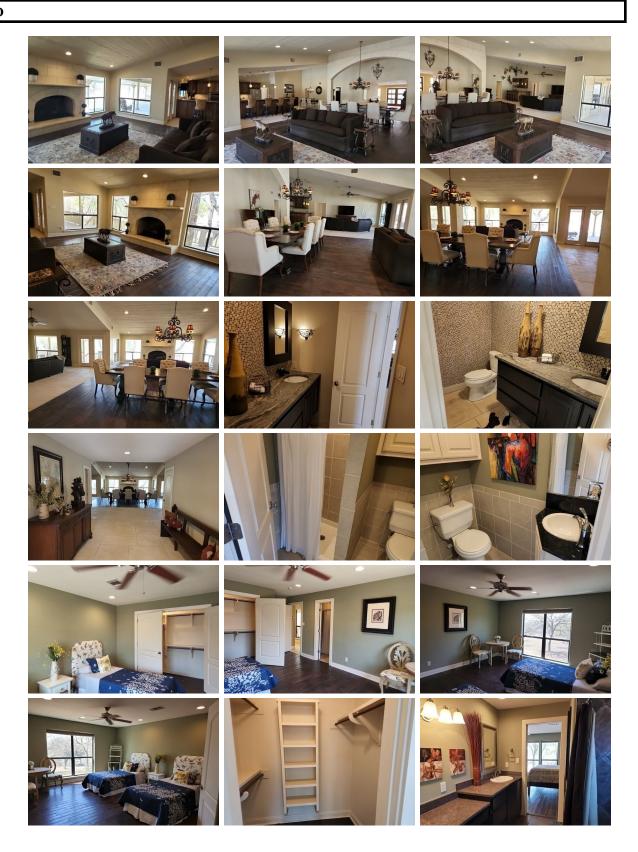
D=Deficient



NI=Not Inspected

NP=Not Present

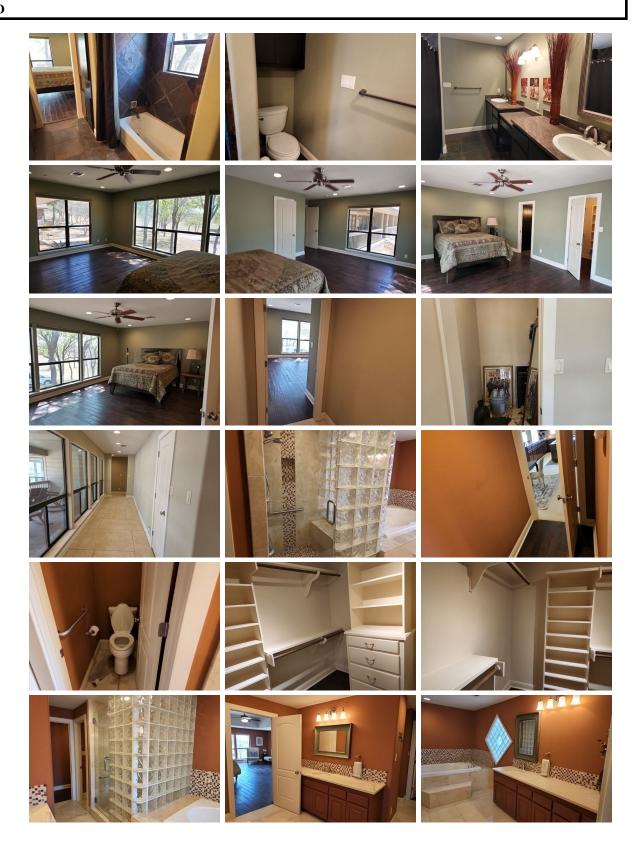
D=Deficient



NI=Not Inspected

NP=Not Present

D=Deficient



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D



Interior Wall Finishes: Sheet Rock

## 1: Interior Wall Cracks

Recommendation

Interior wall cracks were observed at the time of inspection.

Recommendation: Contact a qualified drywall contractor.





Garage

## 2: Joint Separation

Handyman/Maintenance Item

There are joint separations in various areas.

Recommendation: Contact a qualified drywall contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D



Left Side Bedroom Closet

## 3: Wall Damage

Recommendation

There was damage to the walls within the home. Repair is recommended.

Recommendation: Contact a qualified general contractor.



Garage

## 4: Holes- shower wall

Recommendation

There were holes in the shower wall at the time of inspection.



Master Bathroom

## 5: Wall Tiles - Grout Cracked and damaged

Recommendation

The grout was cracked and damaged at the wall tiles.

Recommendation: Contact a qualified tile contractor

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



Master Bathroom

# 6: Bowing or Bulging Wall

Recommendation

Areas of bowing or bulging were observed at the wall.

Recommendation: Contact a qualified professional.



Media Room

- □ F. Ceilings and Floors
  - Comments:
- **☒** □ □ **☒** Ceilings

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) report cosmetic damage or the condition of floor, wall, or ceiling coverings; paints, stains, or other surface coatings; cabinets; or countertops,

(B) provide an exhaustive list of locations of deficiencies and water penetrations; or

(C) determine the cosmetic condition of paints, stains, or other surface coatings.

The inspector cannot determine the condition of structural components in hidden ceiling or floor cavities. No opinion as to the condition of the wood, structural members, or other components in hidden areas is implied or intended by this report.

#### 1: Ceiling Cracks

Recommendation

Cracks in the ceilings were observed at the time of inspection.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



Garage

#### 2: Nail Pops

#### ♣ Handyman/Maintenance Item

There are nail pops at the ceilings.

Recommendation: Contact a qualified drywall contractor.



Hallway to Master Bathroom

## 🛛 🗆 🗗 🗖 Floors

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) report cosmetic damage or the condition of floor, wall, or ceiling coverings; paints, stains, or other surface coatings; cabinets; or countertops,
- (B) provide an exhaustive list of locations of deficiencies and water penetrations; or
- (C) determine the cosmetic condition of paints, stains, or other surface coatings.

The inspector cannot determine the condition of structural components in hidden ceiling or floor cavities. No opinion as to the condition of the wood, structural members, or other components in hidden areas is implied or intended by this report.

#### Floors - Covered:

There are large area rugs on the flooring in most rooms, these areas were not inspected due to these rugs.

#### 1: Garage Floor Cracks

Recommendation

There were cracks in the garage floor.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

# NI NP D



# 2: Damaged (General)

Recommendation

The home had general moderate damage visible at the time of the inspection. Recommend service by a qualified contractor.

Recommendation: Contact a qualified professional.



Office Bathroom

## 3: Cracked Floor Tiles

Recommendation

Through out house

There are cracked floor tiles observed. Repair is recommended.

Recommendation: Contact a qualified flooring contractor







Kitchen

Storage room

Storage room

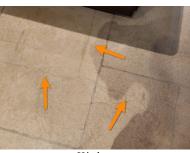
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D







Kitchen

Storage room

Front Hallway right side



Storage room

## ☑ □ ☑ ☑ G. Doors (Interior and Exterior)

Comments:

Entry Door Type: Wood w/ glass Overhead Garage Door Type: Metal

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) report the condition of awnings, blinds, shutters, security devices, or other non □ structural systems;
- (B) determine the cosmetic condition of paints, stains, or other surface coatings; or; (C) operate a lock if the key is not available,
- (D) provide an exhaustive list of locations of deficiencies and water penetrations.

The inspector cannot determine the condition of wood or structural components hidden within wall cavities.

No opinion as to the condition of the wood, structural members, vapor barriers, insulation, or other components in hidden areas is implied or intended by this report.

We do NOT inspect for Safety Glass or Storm Doors.

#### 1: Out of Square

Recommendation

Some doors are out of square.

Recommendation: Contact a qualified door repair/installation contractor.





Back Left Bedroom Closet

Storage room

I=Inspected N

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D

#### 2: Bind at Jamb

Recommendation

The door binds at the jamb. Adjustments may be needed for proper operation.

Recommendation: Contact a qualified door repair/installation contractor.



Media Room

Front Entryway

## 3: Missing Shower Door Seal

Recommendation

The water seal is missing at the bathroom shower door. Water may splash onto the bathroom floor when shower is in use.

Recommendation: Contact a qualified professional.



Master Bathroom

## 4: Damaged Weather Stripping

Recommendation

The door has a damaged weather strip. This can result in significant energy loss and moisture intrusion. Recommend installation of standard weatherstripping.

## Here is a DIY guide on weatherstripping.

Recommendation: Contact a qualified door repair/installation contractor.



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NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

I=Inspected

Front Entryway

#### 5: Exterior Doors - Air and Light

Recommendation

Light and air gaps were present at the exterior doors.

Recommendation: Contact a qualified door repair/installation contractor.





Laundry Room

Front Entryway

# 6: Door Damage

Recommendation

The door is damaged. Repair or replacement is recommended.

Recommendation: Contact a qualified professional.



Media Room

#### ☑ □ □ ☑ H. Windows

Comments:

Window Type: Metal - Double pane insulated

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) exhaustively inspect insulated windows for evidence of broken seals;

(B) exhaustively inspect glazing for identifying labels; or

(C) identify specific locations of damage.

The inspector does not inspect or comment on the presence or condition of storm windows, awnings, shutters, or other security devices or systems. Failed thermal seals in insulated windows are not always detectable, depending upon atmospheric conditions or if they are particularly dirty or otherwise obstructed. Visible signs of voided (lost thermal seal) insulated windows can fluctuate with changes in lighting, temperature and/or humidity. Only obvious seal failure (window fogging) is noted in this report. Windows can be constructed with multiple sashes and/or lites which could increase the number of actual voided glazed panels. Should this be a concern, our client should contact a glass window specialist to determine if any additional windows have broken seals. The inspector does not remove any screens or inspect windows which would require a ladder to inspect

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D

#### Thermal Pane Windows:

As THERMAL PANE WINDOWS lose their vacuum, moisture may appear, and then disappear, depending on inside and outside temperature, barometric pressure and the relative humidity. Windows are listed as OBSERVED AT THE TIME OF THE INSPECTION ONLY, and NO WARRANTY IS EXPRESSED OR IMPLIED. If voided or damaged thermal panes are noted on the inspection report, we would strongly urge that a qualified glass company or glazier be contacted for a further evaluation and any estimates that might be needed.

#### 1: Damaged Window Sill

#### Recommendation

There were areas of damage to the window sills.

Recommendation: Contact a qualified professional.





Front Hallway Right Side

Front Hallway Right Side

#### 2: Broken Seals

#### Recommendation

There were windows observed at the time of inspection in which the seals were visually broken and/or fogging was visible. Repair or replacement is recommended.

Recommendation: Contact a qualified window repair/installation contractor.



Garage

## 3: Water Damage

#### Recommendation

Water damage was noted on the window frames.

Recommendation: Contact a qualified professional.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



Middle Left Side Bedroom

## ☑ □ □ I. Stairways (Interior and Exterior)

Comments:

Specific Limitations:

Note: Specific Limitations. The inspector is not required to exhaustively measure every stairway component.

#### 1: Non-Grip-able Handrail

Recommendation

The handrail is a type that is not currently allowed for proper gripping. Recommend a qualified professional evaluate and repair.

Recommendation: Contact a qualified professional.



# 2: Damaged Steps Recommendation

The steps are damaged. Repair is recommended.

Recommendation: Contact a qualified professional.



Right Side

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

☑ □ □ ☑ J. Fireplaces and Chimneys

Comments: General Photos:







Fireplace Fuel Source: Gas Logs, Gas/Wood Burning

Cclamp?: N/A, Yes Damper: N/A Chim Flue: N/A Firestop?: N/A Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) verify the integrity of the flue;(B) perform a chimney smoke test; or(C) determine the adequacy of the draft.

TREC Limitations. The inspector is not required to inspect or comment on chimney structures located more than 8' (feet) above roofline. Freestanding wood burning stoves are beyond the scope of this inspection

## 1: Not Responding

Recommendation

Unit did not respond to testing at time of inspection. Repair or replacement is recommended.

Recommendation: Contact a qualified fireplace contractor.

#### 2: Dirty Chimney - Need Sweeping

Recommendation

The fireplace chimney is dirty. The chimney should be cleaned and checked for blockage by a Chimney Sweep or other professional.

Recommendation: Contact a qualified chimney sweep.



#### 3: Mortar Separation Chimney

Recommendation

There were areas of mortar separation and cracking at the chimney chase.

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

Recommendation: Contact a qualified professional.



#### 4: Missing cover-pilot light control

Recommendation

The protective cover was missing from the pilot light control box.

Recommendation: Contact a qualified professional.



## ☑ □ ☑ K. Porches, Balconies, Decks, and Carports

Comments:

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) exhaustively measure every porch, balcony, deck, or attached carport components; or

(B) enter any area where headroom is less than 18 inches or the access opening is less than 24 inches wide and 18 inches high.

**D=Deficient** 

## 1: Support Posts Not Fully Bearing

Recommendation

The structure does not fully bear onto the support posts.

Recommendation: Contact a qualified professional.



Rear Right Side

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D

## 2: Patio/Porch Cracking

✗ Handyman/Maintenance Item

There is cracking noted at the patio/porch surfaces.





Rear

## 3: Loose Deck railing

Recommendation

The deck railing is loose.

Recommendation: Contact a qualified professional.



Front Porch

# 4: Balcony Railing - More Than 4 inches

Recommendation

Balcony railings have baluster spacing greater than 4 inches.

Recommendation: Contact a qualified professional.



## 5: Porch Structural Rot

Recommendation

There was wood rot at some structural members on the porch. Repair or replacement is recommended.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

# NI NP D

Recommendation: Contact a qualified general contractor.





Right Side Rear

Rear Patio

## 6: Damaged Tiles

Recommendation

There were cracked, missing, or damaged tiles present.

Recommendation: Contact a qualified professional.



Front Porch Right Side

# 7: Missing Grout

Recommendation

Grout was missing at the patio pavers.

Recommendation: Contact a qualified professional.



Master Bathroom

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

## II. ELECTRICAL SYSTEMS

## **☒** ☐ **☒** A. Service Entrance and Panels

Comments:

General Electrical Photos:





Electrical Service Entrance: Overhead Panel Location: Utility pole



Panel Brand: Cutler - Hammer
Main Conductor Wiring Type: Copper

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D





Panel Labeled?: Yes



Panel Amps: 200 Amps





Over-Current Protection: Breakers

Sub-panel Location: Laundry Room, Office closet Grounding Types: Main Panel, Grounding Rod



Surge Protective Device Not Present:

Current electrical standards require service panels on dwelling units to have Surge Protective Devices (SPD) installed. These devices were not observed at the time of inspection. Not all local jurisdictions have adopted this new code and these may not have been a part of the building standards at the time construction began. If concerns exist, it is recommended to consult builder representative, licensed electrician, or local authority having jurisdiction.

More Than One Main Panel Present:

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

There is more than one main panel present.

## Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) determine present or future sufficiency of service capacity amperage, voltage, or the capacity of the electrical system;
- (B) test arc fault circuit interrupter devices when the property is occupied or damage to personal property may result, in the inspector's reasonable judgment;

**D=Deficient** 

- (C) conduct voltage drop calculations;
- (D) determine the accuracy of overcurrent device labeling;
- (E) remove covers where hazardous as judged by the inspector;
- (F) verify the effectiveness of overcurrent devices; or
- (G) operate overcurrent devices.

The inspector is not required to determine the insurability of the property. The inspector will inspect the service entrance cables and report any deficiencies in the insulation, drip loop, service line clearances and separation of conductors at weather heads.

#### 1: Painted - Interior Panel

#### Recommendation

The interior of the panel has been painted. Damage and discoloration of the bus bar may not be visible.

Recommendation: Contact a qualified electrical contractor.



#### 2: Exposed Wiring at the Service Entrance

## Recommendation

The wiring at the service entrance was exposed. Repair by a licensed electrician is recommended.







I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

# NI NP D



## 3: Double Lugging - Neutral

Recommendation

Double lugging was present at the neutral bar at the time of inspection. This is common for older houses.

Recommendation: Contact a qualified electrical contractor.



## 4: Double Lugging - Multiple Breakers

Recommendation

There is double lugging evident at the circuit breakers in the electrical panel. Repair is highly recommended.

Recommendation: Contact a qualified electrical contractor.



Garage Panel

## 5: Missing Dead Front Cover

Recommendation

The electrical panel is missing the dead front cover.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

# NI NP D



Garage Panel

#### 6: Sharp Tipped Screws

Recommendation

The electrical panel front cover is attached with sharp tipped screws. Fasteners should be flat-tipped screws to prevent penetration of wiring inside the panel.

Recommendation: Contact a qualified electrical contractor.



#### 7: Missing Knockouts - Dead Front

Recommendation

There are knockouts missing on the dead front cover in the electrical panel.

Recommendation: Contact a qualified electrical contractor.

## 8: Missing Bushings

Recommendation

Some wiring exists in the electrical panel without bushing or strain relief protection.



9: Partially Labeled Recommendation

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

The electrical panel was not completely labeled. It is recommended that a licensed electrician label the breakers and confirm proper amperage.

Recommendation: Contact a qualified electrical contractor.



## 10: Missing AFCI Breakers

Recommendation

There are no Arc Fault Circuit Interrupt (AFCI) breakers present as called for by recent TREC reporting standards. AFCI breakers are used to protect living area branch circuits that are not GFCI (Ground Fault Circuit Interrupt) protected. These were not part of the building standards at the time of construction.

Recommendation: Contact a qualified electrical contractor.





# 11: Wire Damage ASafety Hazard

There were wires in the panels that were damaged.

Recommendation: Contact a qualified professional.



Garage Panel

12: Debris in panel Recommendation

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

There was debris in panel at the time of inspection.

Recommendation: Contact a qualified professional.



## ☑ □ □ ☑ B. Branch Circuits, Connected Devices, and Fixtures

Comments:

Wiring Type: Copper

Smoke Detectors Present: Hallways, All Bedrooms

Smoke Detectors Hard Wired: No

Carbon Monoxide Detectors: Not Observed GFCI - Bathrooms: Present and Tripping GFCI - Kitchen: Present and Tripping

GFCI - Exterior: Not Present GFCI - Garage: Not Present

GFCI - Laundry: Present and Tripping GFCI - Detached Structure: N/A GFCI - Bar Area: Present and Tripping

Dryer Outlet Tested: No (Dryer plugged into outlet)

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- (A) inspect low voltage wiring;
- (B) disassemble mechanical appliances;
- (C) verify the effectiveness of smoke alarms;
- (D) verify interconnectivity of smoke alarms;
- (E) activate smoke or carbon monoxide alarms that are or may be monitored or require the use of codes;

**D=Deficient** 

- (F) verify that smoke alarms are suitable for the hearing-impaired;
- (G) remove the covers of junction, fixture, receptacle or switch boxes unless specifically required by these standards

The inspector will report as in need of repair the lack of ground fault circuit protection where required.

\*\*Homes built prior to 1974 could have aluminum wiring present in the branch circuits. Inspector observes branch circuit wiring type within the service panel. Hidden wiring that is not present within the panel could not be observed by inspector.

#### IC Fixtures:

Recessed luminaries/light fixtures can pose a possible fire hazard if they are not I-C rated and specifically designed for installation in an insulated ceiling. Inspector was unable to confirm if lights are insulation compatible (IC) fixtures. Further evaluation is recommended.

## 1: Not All TREC Required Areas Are GFCI Protected

Recommendation

Garage

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

Not all TREC required areas were GFCI protected. Required areas include, but are not limited to the Kitchen, all Bathroom/Restrooms, Garage, Exterior, Crawlspaces, Unfinished Basements, Laundry Rooms, and Bar areas.

Recommendation: Contact a qualified electrical contractor.

## 2: Exposed Exterior Wiring - Not In Conduit

Recommendation

There was exposed wiring present at the exterior of the home that was not contained in the exterior rated conduit.

Recommendation: Contact a qualified electrical contractor.



# 3: Gaps Around Outlets/Switches

Handyman/Maintenance Item

There were gaps around various outlet covers and switch plates.



Living Room

## 4: Outlet Not Responding

Recommendation

Outlet did not respond to testing. Repair or replacement is recommended.

I=Inspected NI=Not Inspected

NP=Not Present

D=Deficient

# NI NP D



Utility Pole

#### 5: Open Ground Outlet Readings

#### Recommendation

Hand held tester showed open ground readings at one or more outlets. This can be a risk of shock to people or damage to equipment, notably electronics and appliances, that are plugged into the outlet. Repair is recommended.

Recommendation: Contact a qualified electrical contractor.



Front Hallway right side

## **6:** No In-Use Weatherproof Covers

#### Recommendation

In-use weatherproof covers were not present at all exterior outlets. Some City Jurisdictions do not require exterior outlets under covered patios to have these covers. TREC standards require these covers to be on all exterior outlets.

Recommendation: Contact a qualified electrical contractor.



Right Side Front

#### 7: Missing Exterior Outlet Covers

Recommendation

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

Outlet covers were not present at the exterior outlets. Exterior outlets should be covered with an in-use weatherproof cover.

Recommendation: Contact a qualified electrical contractor.



Utility Pole

#### 8: Flickering Light

Recommendation

Living Room

Light was observed flickering when in operation. Recommend a qualified professional evaluate and repair.

Recommendation: Contact a qualified electrical contractor.



## 9: Wiring At Attic Entrance - Unsecured

Recommendation

There should not be unsecured electrical wiring within 6 feet of the attic opening.





X		C. Other
		Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

## III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

## **☒ ☒ ☐ ☐ A.** Heating Equipment

Comments:

Unit Information:

The National Association of Home Builders and Bank of America Home Equity division produced a Study of Life Expectancy of Home Components in February 2007. Life expectancy is based on first owner use.

That study noted that the expected life span (on average) of gas-fired heaters is about 18 years.

That study noted that the expected life span (on average) of electric heaters is about 15-20 years.

Take this into consideration when noting the manufacture date for the unit at this property. It is recommended that units of the above ages be further evaluated and cleaned to verify that the heat exchanger and/or heating elements are working properly.







General Mechanical Photos:







Furnace Energy Source: Electric

Furnace Type: Forced Air - Electric/Heat Pump

Furnace Location: Laundry Room

Heating Temperatures:

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Kitchen 149
Living Room 149

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

Dining Room	149	
Master Bedroom	147	
Bedroom 2	143	
Bedroom 3	149	
Bedroom 4	146	
Family Room	148	
Playroom		
Media Room	141	
Office	146	

Specific Limitations:

Note: Specific Limitations

The system fan, burner, and heat exchanger are not readily available for inspection without disassembly of the unit. Because we do not disassemble equipment, the condition of the system interior is unknown. If the system does not have a documented history of regular cleaning and maintenance, servicing by a licensed HVAC technician will be required. Recommend annual cleaning and service by licensed HVAC technician. The inspector will describe the type of heating system and its energy sources and inspect each unit.

\*Manufacturer numbers are provided as additional information to the client. Appliances are not researched for recalls. If buyer has further concerns regarding recalls the appliance manufacturer should be contacted.

#### Heat Exchanger:

Determining the full integrity of the heat exchanger requires requires the dismantling of the heat exchanger and is beyond the scope of a visual inspection, as outlined in Title 535.229 (t) of the Standards and Practices. Due to design, heat exchangers are viewed from the draft hood and / or burner opening only and are not fully inspected. We strongly urge you to have an industry accepted specialist fully inspect and report on the internal condition of the heat exchanger.

## ☑ ☑ ☑ B. Cooling Equipment

Comments:

Condensing Unit Information:

The National Association of Home Builders and Bank of America Home Equity division produced a Study of Life Expectancy of Home Components in February 2007. Life expectancy is based on first owner use. That study noted that the

I=Inspected NI=Not Inspected NP=

NI=Not Inspected NP=Not Present D=Deficient

#### NI NP D

expected life span (on average) of air conditioners is about 10-15 years. Take this into consideration when noting the manufacture date listed for the unit at this property. Any service life in excess of 15 years is in the realm of good fortune only and should be viewed as such. The complete system will require a higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical equipment is virtually impossible.



## Evaporative Coil Unit Information:

The National Association of Home Builders and Bank of America Home Equity division produced a Study of Life Expectancy of Home Components in February 2007. Life expectancy is based on first owner use. That study noted that the expected life span (on average) of air conditioners is about 10-15 years. Take this into consideration when noting the manufacture date listed for the unit at this property. Any service life in excess of 15 years is in the realm of good fortune only and should be viewed as such. The complete system will require a higher level of maintenance, and may be more prone to major component breakdown. Predicting the frequency or time frame for repairs on any mechanical equipment is virtually impossible.



General Mechanical Photos:

I=Inspected

NI

NI=Not Inspected NP=Not Present **D=Deficient** 

#### NP D







Outdoor Temp: 70s



2008

Coolant Type: 410A Specific Limitations:

Note: Specific Limitations. The system fan and evaporative coil are not readily accessible for inspection without disassembly of the unit. Because we do not disassemble equipment, the condition of the system interior is unknown. If the system does not have a documented history of regular cleaning and maintenance, servicing by a licensed HVAC technician is required. Recommend annual cleaning and service by licensed HVAC technician. The inspector will not pressure test the system coolant or determine the presence of leaks; or operate setback features on thermostats or controls. We do not inspect for efficiency, capacity or adequacy of units, and the secondary drain lines are not traced for termination. Secondary drain lines are not tested for proper drainage. The inspector will describe the type of cooling system and its energy sources and inspect each unit.

The inspector does not determine the Seasonal Energy Efficiency Ratio (SEER) rating of the HVAC system. This equipment rating is published in the Air Conditioning and Refrigeration Institute ARI directory. The inspector does not determine if an air conditioning units condensing coils and evaporating coils are "matched" according to the manufacturer's specifications. If any concerns exist about the "matching" of evaporator coils with condensing coils, a qualified HVAC technician should evaluate the complete HVAC system.

#### Evaporative Coil (s):

The coils of the indoor portion of the HVAC system were not actually observed and are beyond the scope of this visual inspection. The "indoor" coils are enclosed within the actual cabinet which would require specialized tools / equipment to access. The HVAC unit's warranty could be voided if an unqualified non-Licensed HVAC technician were to cut into the plenum, damage sealant, remove support strapping mounted in the evaporator coil's access panel, remove flues and/or remove any of the ductwork. If documentation is unavailable on the maintenance history of the units or if any concerns exist about the condition of the coils, a qualified licensed HVAC technician should evaluate the complete HVAC system.

## Not inspected - Heat Pump:

Heat pump was not tested in cooling mode. Heat pumps are only tested in 1 mode, due to the operating restrictions of the units.

#### 1: Refrigerant Line Insulation - Exterior needed

Recommendation

Insulation is needed on the large Freon suction line at the air conditioning compressor.

I=Inspected NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

Recommendation: Contact a qualified HVAC professional.



#### ☑ ☐ ☐ ☑ C. Duct Systems, Chases, and Vents

Comments:

Filter Type: Disposable

Filter Location: Downstairs Wall Filter Size: Undetermined Duct Location: Attic Duct Type: Flexible Specific Limitations:

Note: Specific Limitations. The inspector will not determine the efficiency, adequacy, or capacity of the systems; determine the uniformity of the supply ducts; determine the types of materials contained in insulation, wrapping of pipes and ducts, jackets, boilers, and wiring; operate venting systems unless ambient temperatures, or other circumstances, in the reasonable opinion of the inspector, are conducive to safe operation without damage to the equipment or operate a unit outside its normal operating range. Tip: Seal the plenum, duct hubs and evaporator coil seams with aluminum tape or HVAC ductwork mastic for a possible savings in energy consumption of as much as 35%.

#### Duct Interior

The interior of the ducting system is not accessible for observation and inspection. Ducts are tested by air temperature at the rooms and inspected visually.

Not Inspected - Limited Attic Access:

Attic access was limited and ducts were not fully visible for inspection.

#### 1: Plenum Mastic Separating

Recommendation

Mastic sealant around the unit is separating. Repair is recommended in order for unit to be a sealed system.

Recommendation: Contact a qualified heating and cooling contractor



Laundry Room

Report Identification: 1006 FM1855, Marble Falls, TX 78654 - April 1, 2022

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

D D D Other

Comments:

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

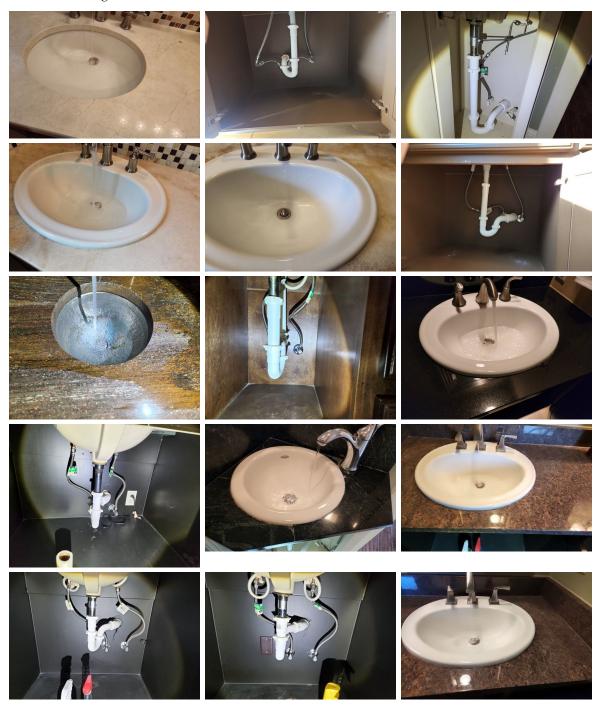
D=Deficient

## IV. PLUMBING SYSTEMS

 $lacktriangleq \Box \ \Box \ lacktriangleq A.$  Plumbing Supply, Distribution Systems and Fixtures

Comments:

General Plumbing Photos:



I=Inspected

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D=Deficient

# NI NP D



Water Meter Location: Undetermined Main Water Shut off Location: Undetermined Static Water Pressure Reading: 55



Type of Supply Piping Material: Pex Specific Limitations:

I=Inspected

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NP=Not Present

D=Deficient

## NI NP D

Note: Specific Limitations. The inspector is not required to:

- (A) operate any main, branch, or shut-off valves;
- (B) operate or inspect sump pumps or waste ejector pumps;
- (C) verify the performance of:
  - (i) the bathtub overflow;
  - (ii) clothes washing machine drains or hose bibs; or
  - (iii) floor drains;
- (D) inspect:
  - (i) any system that has been winterized, shut down or otherwise secured;
- (ii) circulating pumps, free-standing appliances, solar water heating systems, water-conditioning equipment, filter systems, water mains, private water supply systems, water wells, pressure tanks, sprinkler systems, swimming pools, or fire sprinkler systems;
  - (iii) inaccessible gas supply system components for leaks;
  - (iv) for sewer clean-outs; or
  - (v) for the presence or performance of private sewage disposal systems; or
- (5) determine:
- (A) quality, potability, or volume of the water supply; or
- (B) effectiveness of backflow or anti-siphon devices.

Plumbing - Visible Areas:

Plumbing Areas - Only Visible Plumbing Inspected

#### Propane Tank:

Propane tanks are inspected visually only. Pressure testing or leak testing the lines is beyond the scope of the inspection.

#### 1: Water Pressure - Low in Home

Recommendation

Low water pressure is noted throughout the home at the time of inspection.

Recommendation: Contact a qualified plumbing contractor.











2: Diverter - Doesn't Shut Off

Recommendation

Report Identification. 1000 1 W11033, Warble 1 ans, 174 70034 - April 1, 202

NI NP D

I=Inspected

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D=Deficient

The shower diverter does not fully shut off water to the spout when the shower is on.

Recommendation: Contact a qualified plumbing contractor.



Back Left Bedroom Bathroom

#### 3: Fixture Doesn't Shut Off Water

Recommendation

The installed fixture does not shut off the water. The water has to be shut off at the disconnect valves. Repair or replacement is recommended.

Recommendation: Contact a qualified plumbing contractor.



Left Side Bedroom Bathroom

## 4: Sprayer Does Not Retract

Recommendation

The sprayer head does not retract and lock into the fixture when tested. Repair or replacement is recommended.

Recommendation: Contact a qualified professional.



5: Shower Head Not Responding

Recommendation

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

The showerhead did not respond at the time of inspection.

Recommendation: Contact a qualified plumbing contractor.

D=Deficient



Back Left Bedroom Bathroom

## 6: Ant-Siphon Damaged

Recommendation

The anti-siphon fixture is damaged.

Recommendation: Contact a qualified professional.



Front

## **☒** ☐ **☒** B. Drains, Wastes, and Vents

Comments:

Type of Drain Piping Material: PVC Type of Drain Piping at Sinks: PVC

Overflows:

Tub and sink overflows, and extermination points were not inspected.

## 1: Bathtub Stopper Does Not Attach

Recommendation

The bathtub stopper did not did not attach properly. Repair or replacement is recommended.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



Back Left Bedroom Bathroom

## 2: Sink Stopper - Does Not Hold Water

Recommendation

The sink stopper did not hold water when engaged.







Back Left Bedroom Bathroom

Bar area

Master Bathroom

## **☒** □ □ **☒** C. Water Heating Equipment

Comments:

Unit Information:

The National Association of Home Builders and Bank of America Home Equity division produced a Study of Life Expectancy of Home Components in February 2007. Life expectancy is based on first owner use.

That study noted that the expected life span (on average) of gas-fired heaters is about 18 years.

That study noted that the expected life span (on average) of electric heaters is about 15-20 years.

That study noted that the expected life span (on average of gas-fired tankless water heaters (on average) is about 20-25 years.

Take this into consideration when noting the manufacture date for the unit at this property. It is recommended that units of the above ages be further evaluated and cleaned to verify that the heat exchanger and/or heating elements are working properly.





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I=Inspected NI=Not Inspected NP=1

NP=Not Present

D=Deficient

NI NP D

2009

2009

General Mechanical Photos:













Energy Source: Electric

WH Size: 66, 50

WH Location: Laundry Room

TP Material: Copper

WH Pan: Yes

Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

(A) verify the effectiveness of the temperature and pressure relief valve, discharge piping, or pan drain pipes; (B) operate the temperature and pressure relief valve if the operation of the valve may, in the inspector's reasonable judgment, cause damage to persons or property; or

(C) determine the efficiency or adequacy of the unit.

FYI: Recommend draining and flushing unit once per year to reduce deposits/noise, and extend life of unit. Homes left vacant for extended periods of time may have a buildup of hydrogen sulfide gas inside the water tank. This gas causes an unpleasant "rotten eggs" odor. Generally, flushing the unit a few times will alleviate this problem. If problem persists contact a licensed plumber for further evaluation of the water heater.

\*Manufacturer numbers are provided as additional information to the client. Appliances are not researched for recalls. If buyer has further concerns regarding recalls the appliance manufacturer should be contacted.

Temperature and Pressure Valve:

Valve is not operated due to possibility of causing leaks.

#### 1: Pan is Too Small

Recommendation

The safety pan for the water heater is not adequately sized. Due to the small size of the pan water will not properly accumulate and drain at time of leakage.

Recommendation: Contact a qualified plumbing contractor.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



Laundry Room

□ □ **B** □ D. Hydro-Massage Therapy Equipment

Comments:

GFCI Present: N/A
Pump Access: N/A
Specific Limitations:

Note: FYI: Environmental testing of whirlpools is beyond the scope of this inspection. Health problems have been noted and directly linked to the bacterial growth in the distribution lines of the equipment. Recommend that the manufacturer be consulted for further maintenance and cleaning instructions prior to use. For more information visit: www.whirlpoolcouncil.com

☑ □ □ ☑ E. Gas Distribution Systems and Gas Appliances

Comments:

Location of Gas Meter: Exterior

Type of Gas Distribution Piping Material: Black Iron, Black Iron/CSST

Areas of Rusting/Damage - Gas: Yes

1: Gas Line Valves Not in Use

Recommendation

The gas valves that are no longer in use should be capped off.

Recommendation: Contact a qualified plumbing contractor.



Rear

2: CSST

▲Safety Hazard

CSST gas piping was present within the property. CSST gas lines should be properly grounded and bonded by a licensed electrician.

Corrugated Stainless Steel Tubing (CSST) is a colored flexible metal gas tubing used to supply natural gas or propane to gas appliances and HVAC systems for both residential and commercial structures. Since 1990,

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

CSST has been installed in millions of homes in the U.S. It has been shown that an indirect lightning strike near a structure in which CSST is present may cause an electrical surge to travel through the structure and perforate the sidewall of the CSST as the energy, seeking ground, arcs from one metallic system to another. This arcing may ignite the pressurized gas leaking from the perforated CSST and potentially cause a fire. Proper bonding and grounding a CSST system may reduce the likelihood of CSST perforation and electrical arcing due to an indirect lightning strike. While current manufacturing guidelines and gas fuel codes require direct bonding of newly installed CSST, many installations, particularly older installations, may not meet the current installation requirements.

Recommendation: Contact a qualified electrical contractor.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D

## V. APPLIANCES

**☒** □ □ **☐** A. Dishwashers

Comments:

Appliance Information:







DW Back Flow: Visible Evidence of Leaks: No

☑ □ ☑ B. Food Waste Disposers

Comments:

Appliance Information:





1: Not Respond

Recommendation

Unit did not respond to testing at time of inspection.

Recommendation: Contact a qualified appliance repair professional.

2: Rusting On Cutting Plate

Recommendation

Rust was noted on the cutting plate.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D

X

Comments:

Appliance Information:



RH Vent: Unknown

1: Not responding

Recommendation

Unit did not respond to testing at time of inspection. Repair or replacement is recommended.

Recommendation: Contact a qualified appliance repair professional.

☑ □ □ ☑ D. Ranges, Cooktops, and Ovens

Comments:

Appliance Information:



Oven Type: Electric Range Type: Gas Gas Line Access: No

Oven Heating Within 25 Degrees of 350: No, Yes

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

NI NP D



1: Not Responding Recommendation

Unit did not respond to testing at time of inspection.



2: Glass Panel Damaged

Recommendation

The glass panel in the oven door is damaged.



**☒** □ □ □ E. Microwave Ovens

Comments:

Appliance Information:







Report Identification: 1006 FM1855, Marble Falls, TX 78654 - April 1, 2022 D=Deficient I=Inspected NI=Not Inspected NP=Not Present NI NP D Micro Heat: Yes F. Mechanical Exhaust Vents and Bathroom Heaters Comments: Exhaust Fans In Bathroom: Yes Exhaust Fan In Laundry: Yes Exhaust Fan Term Vent to Exterior: Yes  $\mathbf{X}$ G. Garage Door Operators Comments: General Operator Photos: Door Operated: Yes - Automatic door controls Sensors 6 Inches Or Less From Garage Floor: Yes Unit Operational: Yes Electric Eye Reverse Test Acceptable: Yes Auto Reverse Test:

Not Tested. The "Door Reversed When Obstructed Test" was not performed in order to avoid damage to door and operator.

■ □ □ □ H. Dryer Exhaust Systems

Comments:

Termination Location: Outside the structure

NI=Not Inspected I=Inspected

NI NP D NP=Not Present **D=Deficient** 

## VI. OPTIONAL SYSTEMS

X B. Swimming Pools, Spas, Hot Tubs, and Equipment

X  $\mathsf{X}$ E. Private Sewage Disposal Systems

Comments:

Type of System: Conventional Location of Drain Field: Front Yard

Age (Approximate): 20+ yrs Building Occupied: No

Separate Drain - Gray Water: None observed

Treatment Tank Location: Front

Treatment Tank Distance from Building: >40ft *Greater than 10' from Property Line:* Yes Greater than 50' from Well/Body of Water: Yes

Treatment Tank Type: Concrete Treatment Tank Cover Type: Concrete Treatment Tank Cover Damaged?: No Addition/Cover Over Treatment Tank?: No

Treatment Tank Water Tight?: No Water Level Depth (inches): 30



Scum Level Thickness: 6 -

Scum and sludge level of 30% or more should be further evaluated and removed by a qualified professional.

Sludge Level Thickness: 30 -

Sludge and scum level of 30% or more should be further evaluated and removed by a qualified professional.

Treatment Tank Appears Functional: No Absorption System Type: Drain Field

Absorption System Previous or Current Failure: No Gray Water Discharge Located: None Observed Absorption System Appears Functional: Yes

Pumping Equipment Observed: N/A

Pump Appears to Be Leaking Oil/Water: N/A

Pump Excessively Noisy: N/A Pump Grounded/Bonded: N/A Hazardous Conditions: N/A Improper Wiring: N/A

Pumping Equipment Appears Functional: N/A

Evidence of System Backup: No

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

## NI NP D

Excess Water in Absorption Area: No

Effluent Observed at Surface in Absorption Area: No

Mechanical Damage Observed: No Maintenance Failure Observed: No

Groundwater Flowing Into or Flooding Absorption Area: No

General System Photos:











Maintenance Pumping Recommended:

Common practice for septic systems during a real estate transaction is for the system to be pumped prior to closing and have the system fully inspected by a licensed septic inspection company. Poorly maintained systems can cause contamination and lead to costly repairs.

## Specific Limitations:

Note: Specific Limitations. The inspector is not required to:

- excavate or uncover the system or its components;
- determine the size, adequacy, or efficiency of the system; or
- determine the type of construction used.

FYI: Recommend the tank be pumped and inspected every 2-3 years depending on use. It is recommended having the tank pumped initially when maintenance records are not available.

Disclaimer: Based on what we were able to observe and our experience with onsite wastewater technology, we submit this Onsite Wastewater Treatment System Inspection Report based on the present condition of the onsite wastewater treatment system. Green Works Inspections has not been retained to warrant, guarantee, or certify the proper functioning of the system for any period of time in the future. Because of the numerous factors (usage, soil characteristics, previous failures, etc.) which may affect the proper operation of a wastewater treatment system, this report shall not be construed as a warranty by our company that the system will function properly for any particular buyer. Green Works Inspections DISCLAIMS ANY WARRANTY, expressed or implied, arising from the inspection of the wastewater treatment system or this report. We are also not ascertaining the impact the system is having on the environment.

## Limited Visual Inspection:

This is a limited visual inspection. Components were observed and tested with normal operating controls. Tank was not pumped for evaluation.

#### 1: Sludge/Scum High Levels

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

Recommendation

The sludge and scum percentage exceeds recommended amounts. The tanks should be pumped and further evaluated.

Recommendation: Contact a qualified septic system contractor.

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

MISC.

**⊠** □ □ **⊠** Misc

Infrared - No Deficiencies:

A thermal scan of the home was taken using a digital infrared camera to look for hidden water penetration, electrical overheating, and missing insulation. Inspector scanned all accessible areas in the home and found no evidence of these conditions at the time of inspection.

**D=Deficient** 

#### Pest Control:

The Structural Pest Control Act requires inspection of only those areas which are visible and accessible at the time of inspection. Some areas of the structure are not accessible to inspection, such as the interior of hollow walls, spaces between floors, areas concealed by carpeting, appliances, furniture or cabinets. Infestations may be active in these areas without visible and accessible evidence. If you desire information about areas that were not inspected, a further inspection may be performed at an additional cost. Carpets, furniture, or appliances are not moved during a routine inspection. Only a visual, non-invasive inspection is performed at the time of inspection. In conjunction with the inspection findings within this report, it is recommended that pest control service be utilized at the property for ongoing and/or preventative measures.

#### Comments:

Home Visibility:

Some areas of the home were filled with stacked personal belongings. Not able to completely inspect these areas due to obstructions.

Items Beyond the Inspection Scope:

Refrigerators Are Not Inspected.

Expansion tanks and recirculating pumps are not inspected.

Water filtration or softening systems are not inspected.

Instant hot water dispensers are not inspected.

Icemakers are not inspected.

Solar panels and systems are not inspected.

Ponds, streams, or other water areas are not inspected.

Whole house fans are not inspected or tested.

Whole house vacuum systems are not tested or inspected.

Saunas or steam rooms are not inspected.

Any landscape lighting, patio storage buildings, hot tubs, misting systems, security systems, surround sound systems/wiring, internet connections, and satellite systems that could be present are beyond the scope of this home inspection, and were not inspected.

**Purpose:** This is a one-time inspection of the subject property to identify and disclose visually observable major deficiencies of the inspected systems and items at the time of inspection only. Our comments are meant to educate and to provide our Client(s) with information about the areas in which the building or home may be deficient. Our intent is not to require every item below to be corrected by the seller. The buyer, seller, and their agents should use this report merely as a tool toward negotiation of a purchase and sell agreement. Homes do not "Pass" or "Fail" an inspection.

This inspection is not to be technically exhaustive nor is it considered to be a guarantee or warranty, expressed or implied, regarding the conditions of the property.

**Scope & Exclusions:** This is a visual inspection only. We cannot see into, or behind, walls and we will not attempt to report on systems, items, or conditions that are not readily accessible. We do not disassemble anything. We do not inspect for any environmental issues such as RADON GAS, LEAD PAINT, FORMALDEHYDE, UREA, MOLDS, ASBESTOS, FUNGUS, SOIL CONTAMINATION, MICROWAVE RADIATION, or any other types of contaminants or microbiological organisms.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

NI NP D

We do not inspect for building code compliance, building value, appraisal or cost estimates, soil analysis, adequacy of design, underground pipes or drains, capacity, efficiency, size, value, flood plain location, termite, pest or other real property destroying organisms, or habitability. Detached structures are not included in the inspection unless specifically agreed upon by both the inspector and the client. The above list of exclusions is not all inclusive. The Inspection report may comment on the exclusions noted above in a general fashion without incurring responsibility for the exclusions noted above in whole or part.

We do not move furniture, rugs, paintings, or other furniture. There is no responsibility expressed or implied for latent defects, or for defects not reasonably observable at the time of inspection, or for defects that would require the removal of major or permanent coverings for observation. No representation is made as to the future performance of any item. Inspection of water wells, septic systems, security systems, or fire protection equipment (other than smoke detectors) will not be inspected where state /city / county codes, special training, or certification may be additionally required.

We do not hold ourselves to be specialists for any particular item; nor are we engineers. We are a general real estate inspection company.

PLEASE NOTE: Green Works does not inspect for MOLD, MILDEW, FUNGUS and / or SPORES as a part of the standard Texas Real Estate Commission Inspection, UNLESS a separate mold inspection has been ordered PRIOR to date of Standard Home Inspection. If conditions of water penetration and / or migration are reported, it is assumed that conditions can and may exist that would support MOLD, MILDEW, FUNGUS and / or SPORES. While the condition of water penetration and / or migration, if visible and accessible, would be reported to the consumer, the condition of MOLD, MILDEW, FUNGUS and / or SPORES would not be tested, or inspected for. Mold inspections are separate inspections, and require a licensed Mold specialist to comment on, and test for, and report on the presence/absence of Mold, Mildew, Fungus, and spores.

### 1: Wasp Nests

Recommendation

There were wasps and wasp nests observed at the property. General pest control is recommended.

Recommendation: Contact a qualified pest control specialist.



Right Side

#### 2: Bird Nest

Handyman/Maintenance Item

There was a bird nest observed at the exterior of the structure.

Recommendation: Contact a qualified professional.

I=Inspected

NI NP D NI=Not Inspected NP=Not Present D=Deficient





Rear Patio

Rear Garage

I=Inspected NI=Not Inspected NP=Not Present

NI NP D

# FINAL CHECKLIST

Oven/Range Turned Off: Yes Lights Turned Off: Yes Exterior Doors Locked: Yes

Thermostat Initial Setting: 656665 Degrees Fahrenheit





D=Deficient



Left Side Hallway

Hallway

Living Room

Thermostat Leaving Setting: 656665 Degrees Fahrenheit







Left Side Hallway

Hallway

Living Room

Sprinkler System Initial Setting: N/A Sprinkler System Departure Setting: N/A Photo of Supra/Lockbox When Leaving:

