

The Chesterfield II

ON SITE CONSTRUCTION BY:

VILLAGE CUSTOM HOMES
1008 Hwy 24 WEST
MOBERLY, MO 65270
(660)263-4400

MANUFACTURED BY:



1000 WEST WATER STREET, P.O. BOX 69
PINCKNEYVILLE, IL 62274
(618) 357-5361

CODE COMPLIANCE

2009 INTERNATIONAL RESIDENTIAL CODE
2008 NATIONAL ELECTRICAL CODE
2009 INTERNATIONAL ENERGY
CONSERVATION CODE

LOADING

1st FLOOR: 40 psf LIVE LOAD, 10 psf DEAD LOAD
2nd FLOOR: 30 psf LIVE LOAD, 10 psf DEAD LOAD
CEILING: 10 psf DEAD LOAD
ROOF: 20 psf GROUND SNOW LOAD
ROOF: 10 psf DEAD LOAD
WIND: 90 mph 3-SECOND GUST, EXPOSURE C

SEISMIC DESIGN CATEGORY: C

DRAWING SET INDEX

A-1 FRONT AND LEFT SIDE ELEVATIONS
A-2 REAR AND RIGHT SIDE ELEVATIONS
A-3 1st STORY FLOOR PLAN
A-4 SUGGESTED 2nd STORY FLOOR PLAN
A-5 ADDITIONAL DETAILS
A-6 BUILDING CROSS SECTION
A-7 BRACED WALL PLANS
M-1 ELECTRICAL PLAN
M-2 WATER SUPPLY SCHEMATICS
M-3 DWV SCHEMATICS

FOR INFORMATION ONLY & REVIEW ONLY

FOUNDATION PLAN
UNDER BASEMENT FLOOR SLAB PLUMBING PLAN

GENERAL INFORMATION

PROPERTY ADDRESS: TROY, MO

USE GROUP: R-3,

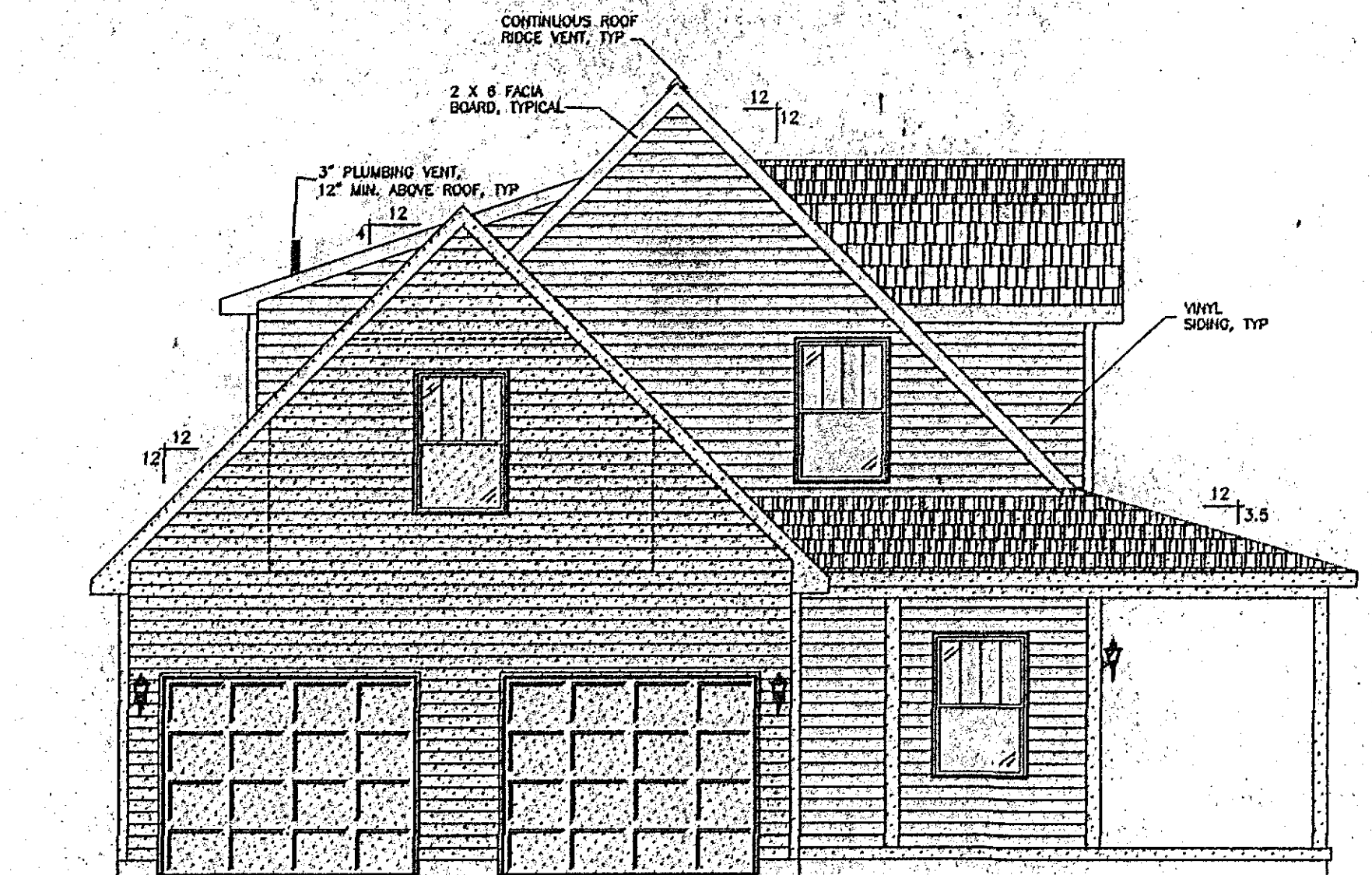
TYPE OF CONSTRUCTION: 5B

TOTAL FINISHED SQ. FOOTAGE: 1,800

TOTAL UN-FINISHED SQ. FOOTAGE: 1,146

DESIGN FILE #1112

CONTEMPRI HOMES PROVIDES ONLY
PRE-ENGINEERED BUILDING COMPONENTS FOR
FINAL ERECTION. COMPLETION BY AN ON-SITE
BUILDER AND ASSUMES NO RESPONSIBILITY FOR
THE DESIGN or CONSTRUCTION OF: THE
FOUNDATION SYSTEM (INCLUDING FOOTINGS,
WALLS, PIERS, BEAMS, COLUMNS, LINTEL OR ETC),
ATTACHED GARAGES, PORCHES, & ALTERATIONS or
ADDITIONS TO THE FACTORY BUILT COMPONENTS.



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

NOTE:

- ON WALLS WHERE MODULES ARE PARTLY SIDED AT THE FACTORY, THE 1st & TOP COURSES OF SIDING IN ADDITION TO AREAS UNSIDED ARE TO BE COMPLETED BY ON-SITE BUILDER. THIS INCLUDES BUT IS NOT LIMITED TO INSTALLING CORNER POSTS, GABLES, SOFFIT AND FASCIA.
- ALL PLUMBING VENTS TO BE EXTENDED THROUGH ROOF BY ON-SITE BUILDER.
- ALL EXHAUST FAN DUCTING TO BE EXTENDED TO EXTERIOR BY ON-SITE BUILDER.
- ALL FINAL FINISH AND "ADD ON'S" ARE THE RESPONSIBILITY OF THE ON-SITE BUILDER AND THE OWNER.

ADVICE TO THE ON-SITE BUILDER/DEALER AND/OR BUILDING OWNER:

UPON FINAL COMPLETION OF THE MODULE SETTING PROCESS, CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR ANY THEFTS WHICH MAY OCCUR AT THE JOB SITE AND/OR ANY WEATHER RELATED DAMAGE, INCLUDING BUT NOT LIMITED TO WATER OR WIND DAMAGE.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE ON-SITE BUILDER/DEALER OR OWNER TO SECURE THE MODULES AGAINST A THEFT POSSIBILITY AND TO INSURE THE MODULES ARE PROTECTED FOR ANY INCLIMATE WEATHER CONDITIONS.

NOTE:

ALL DRYWALL CRACK REPAIR, HANGING AND TAPING IS THE RESPONSIBILITY OF THE ON-SITE BUILDER.

CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY FOR THE MATERIALS AND/OR WORKMANSHIP OF THE ON-SITE BUILDER.

REQUIRED ATTIC VENTILATION

1/300 X 1800 SQ. FT. OF ATTIC SPACE = 6.00 SQ. FT.

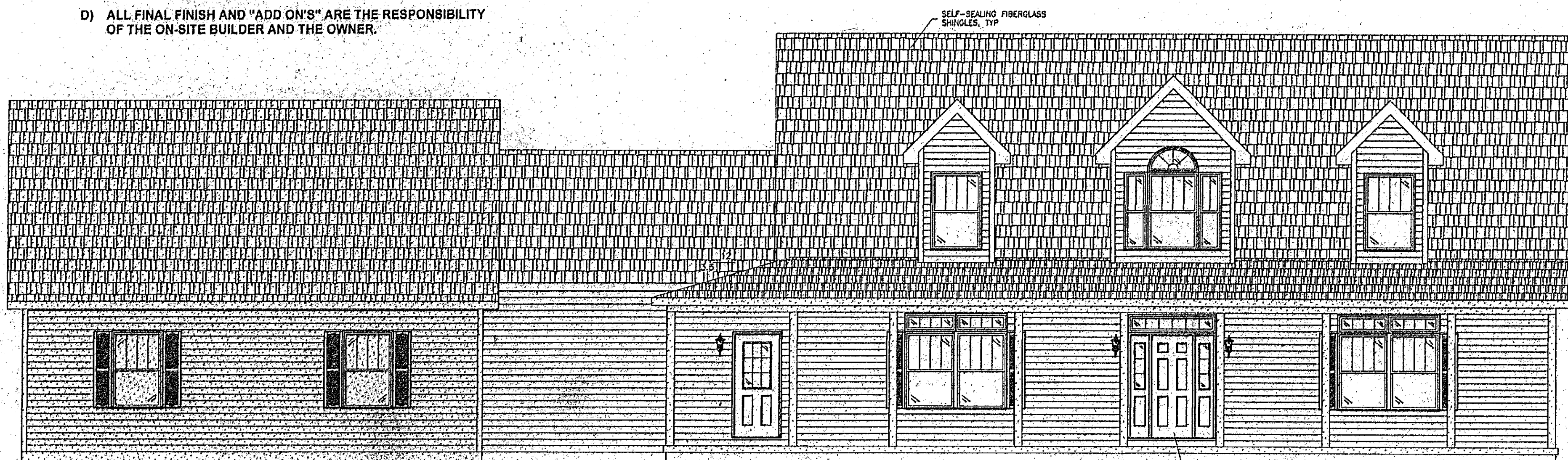
ATTIC VENTILATION SUPPLIED

70'-0" L.F. OF RIDGE VENT @ .087 SF/LF = 6.09 SQ. FT.
140 SQ. FT. SOFFIT VENT = 6.86 SQ. FT.

TOTAL VENTILATION SUPPLIED = 12.75 SQ. FT.

CONTEMPRI HOMES PROVIDES ONLY PRE-ENGINEERED BUILDING COMPONENTS FOR FINAL ERECTION AND COMPLETION BY AN ON-SITE BUILDER AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF:

THE FOUNDATION SYSTEM (INCLUDING FOOTINGS, WALLS, PIERS, BEAMS, COLUMNS, LINTEL OR ETC), ATTACHED GARAGES, PORCHES, and ALTERATIONS or ADDITIONS TO THE FACTORY BUILT COMPONENTS.



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

Contempri Homes
P.O. Box 1000
West Mead, IL 62274
Ph: (618) 357-5361
Fax: (618) 357-8629
Website: www.contemprihomes.com

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PRELIMINARY #:

FILE #:
1112

PRODUCTION #:

REVISED	DATE:
	04/18/12
	05/18/12
	06/20/12
	08/22/12

MODEL: CHESTERFIELD II	DESCRIPTION: FRONT & LEFT SIDE EXTERIOR ELEVATIONS
BUILDER: VILLAGE CUSTOM HOMES	SCALE: AS NOTED
CUSTOMER: ERIC ANDERSON	DATE: 04/05/12
CITY/STATE: TROY, MO	DRAWN BY: DJL

SHEET NO:

A-1
OF
7 SHEETS

ADVISEMENT TO THE ON-SITE BUILDER/DEALER AND/OR BUILDING OWNER:

UPON FINAL COMPLETION OF THE MODULE SETTING PROCESS, CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR ANY THEFTS WHICH MAY OCCUR AT THE JOB SITE AND/OR ANY WEATHER RELATED DAMAGE, INCLUDING BUT NOT LIMITED TO WATER OR WIND DAMAGE.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE ON-SITE BUILDER/DEALER OR OWNER TO SECURE THE MODULES AGAINST A THEFT POSSIBILITY AND TO INSURE THE MODULES ARE PROTECTED FOR ANY INCLIMATE WEATHER CONDITIONS.

NOTE:
ALL DRYWALL CRACK REPAIR, HANGING AND TAPING IS THE RESPONSIBILITY OF THE ON-SITE BUILDER.

CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY FOR THE MATERIALS AND/OR WORKMANSHIP OF THE ON-SITE BUILDER.

REQUIRED ATTIC VENTILATION

$\frac{1}{2}$ sq X 1800 SQ. FT. OF ATTIC SPACE = 6.00 SQ. FT.

ATTIC VENTILATION SUPPLIED

70'-0" L.F. OF RIDGE VENT @ .087 SF/LF = 6.09 SQ. FT.
140 SQ. FT. SOFFIT VENT = 6.66 SQ. FT.

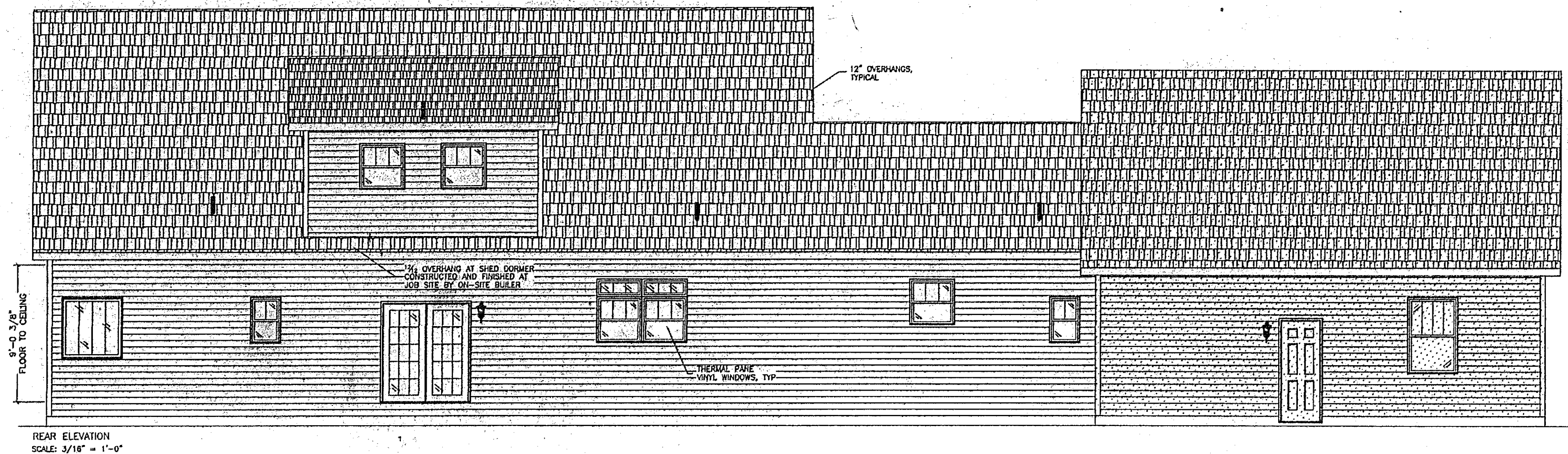
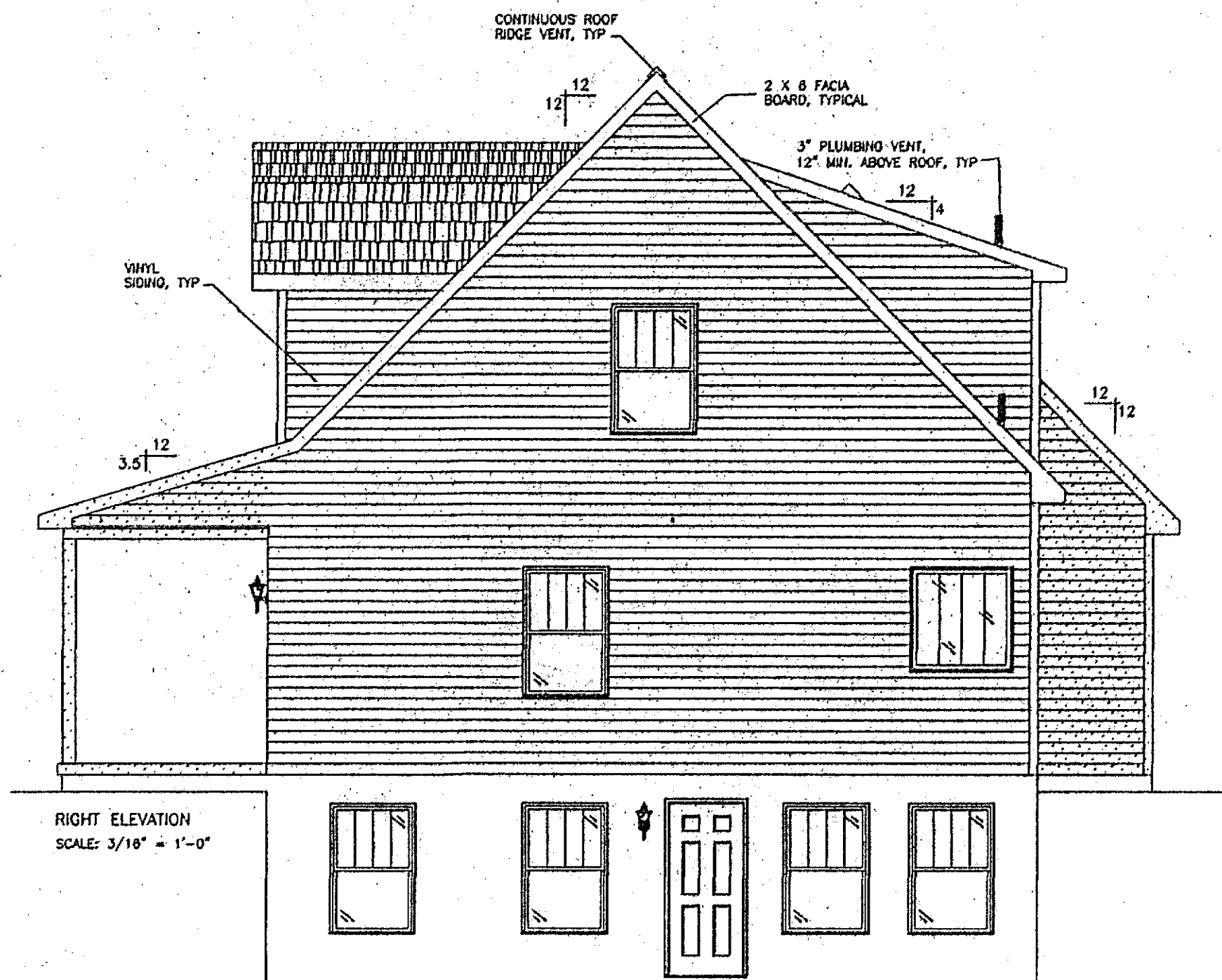
TOTAL VENTILATION SUPPLIED = 12.75 SQ. FT.

CONTEMPRI HOMES PROVIDES ONLY PRE-ENGINEERED BUILDING COMPONENTS FOR FINAL ERECTION AND COMPLETION BY AN ON-SITE BUILDER AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF:

THE FOUNDATION SYSTEM (INCLUDING FOOTINGS, WALLS, PIERS, BEAMS, COLUMNS, LINTEL OR ETC), ATTACHED GARAGES, PORCHES, and ALTERATIONS or ADDITIONS TO THE FACTORY BUILT COMPONENTS.

NOTE:

- A) ON WALLS WHERE MODULES ARE PARTLY SIDED AT THE FACTORY, THE 1st & TOP COURSES OF SIDING IN ADDITION TO AREAS UNSIDED ARE TO BE COMPLETED BY ON-SITE BUILDER, THIS INCLUDES BUT IS NOT LIMITED TO INSTALLING CORNER POSTS, GABLES, SOFFIT AND FASCIA.
- B) ALL PLUMBING VENTS TO BE EXTENDED THROUGH ROOF BY ON-SITE BUILDER.
- C) ALL EXHAUST FAN DUCTING TO BE EXTENDED TO EXTERIOR BY ON-SITE BUILDER.
- D) ALL FINAL FINISH AND "ADD ON'S" ARE THE RESPONSIBILITY OF THE ON-SITE BUILDER AND THE OWNER.



Contempri Homes
P.O. Box 1000
West Valley, IL 62274
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PRELIMINARY #:

FILE #:
1112

PRODUCTION #:

REVISED DATE: 04/18/12
05/18/12
06/20/12
08-22-12

MODEL: CHESTERFIELD II
DESCRIPTION: REAR & RIGHT SIDE EXTERIOR ELEVATIONS
BUILDER: VILAGE CUSTOM HOMES
CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO
SCALE: AS NOTED
DATE: 04/05/12
DRAWN BY: DJL

SHEET NO:
A-2
OF
7 SHEETS:

ADVISEMENT TO THE ON-SITE BUILDER/DEALER AND/OR BUILDING OWNER:

UPON FINAL COMPLETION OF THE MODULE SETTING PROCESS, CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR ANY THEFTS WHICH MAY OCCUR AT THE JOB SITE AND/OR ANY WEATHER RELATED DAMAGE, INCLUDING BUT NOT LIMITED TO WATER OR WIND DAMAGE.

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NOTE:

ALL HATCHED AREAS INDICATE AMENITIES DESIGNED & CONSTRUCTED AT JOB SITE BY ON-SITE BUILDER.

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BASEMENT STAIRS BY OTHERS:

STAIR LOCATION AND DIMENSIONS ARE BASED ON AN ASSUMED BASEMENT WALL THICKNESS OF 8" AND SLAB-TO-FLOOR HEIGHT OF 8'-7 1/2". SHOULD THESE DIMENSIONS OR CONDITIONS CHANGE FOR ANY REASON, REQUIRED ADJUSTMENTS WILL NEED TO BE MADE TO THE STAIRS. CONTEMPRI HOMES ACCEPTS NO RESPONSIBILITY FOR THESE CHANGES AND/OR MODIFICATIONS WHICH ARE THE FULL RESPONSIBILITY OF THE ON-SITE BUILDER AND/OR OWNER.

EXTERIOR WALL HEADER SCHEDULE

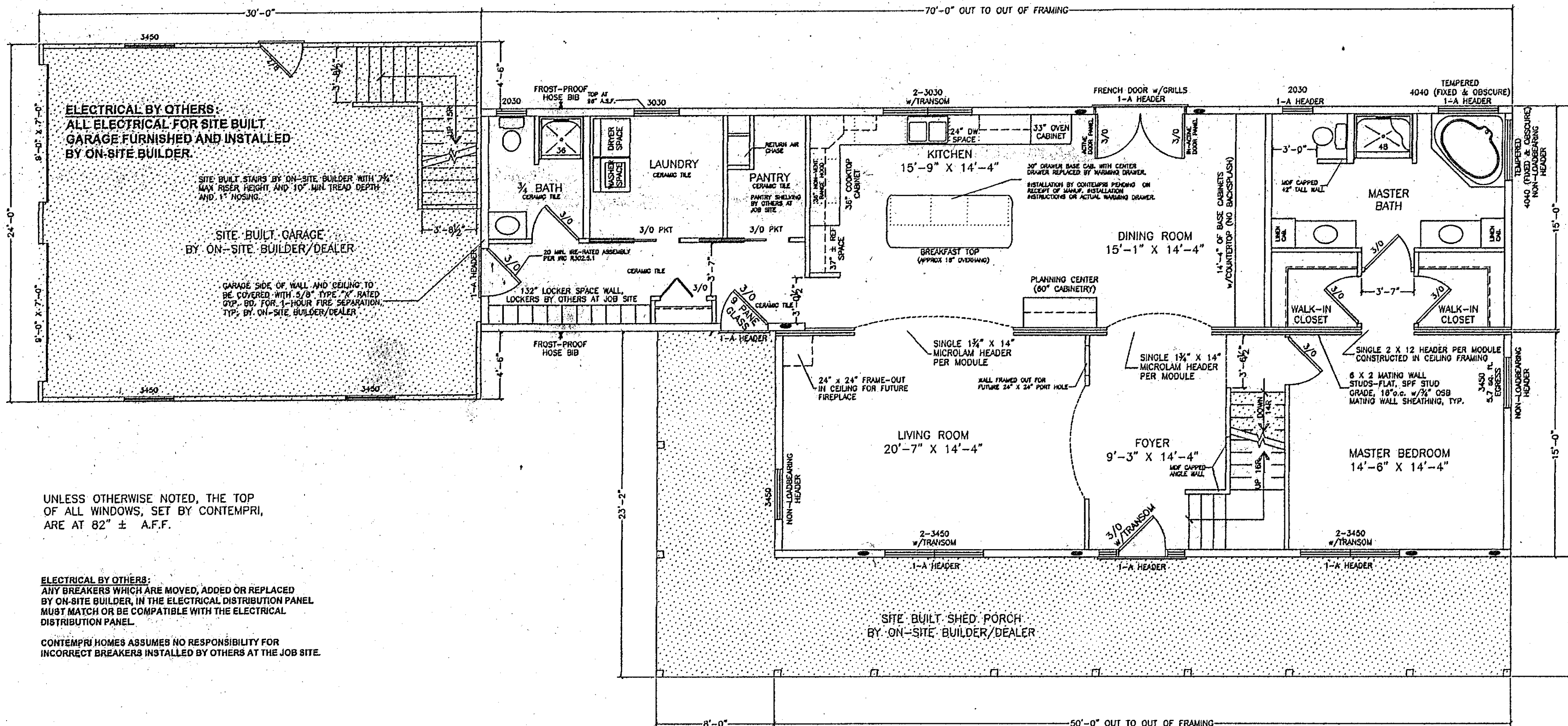
IDENT. NUMBER	DESCRIPTION	MAX. SPAN	NUMBER OF JACK STUDS
1-A	3-2 X 8 SYP #1 OR BETTER	8'-0 1/2"	2

CEILING BAND JOIST and/or FLOOR BAND JOIST, ABOVE HEADER, ARE NOT TAKEN INTO CONSIDERATION FOR MAX. SPAN.

WINDOW SCHEDULE

IDENT. NUMBER	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT
2030	DOUBLE HUNG VINYL WINDOW W/ SCREEN	3.98	1.94
3030	DOUBLE HUNG VINYL WINDOW W/ SCREEN	8.29	3.15
2-3030 w/TRANSOM	DOUBLE HUNG VINYL WINDOW W/ SCREEN	17.78	6.30
3450	DOUBLE HUNG VINYL WINDOW W/ SCREEN	12.97	6.49
2-3450 w/TRANSOM	DOUBLE HUNG VINYL WINDOW W/ SCREEN	31.72	12.98
4040	TEMPERED, FIXED & OBSCURE VINYL WINDOW	11.07	N/A

ALL WINDOWS ARE MANUFACTURED WITH THERMAL PANE GLAZING AND MAINTENANCE FREE VINYL EXTERIORS.



UNLESS OTHERWISE NOTED, THE TOP OF ALL WINDOWS, SET BY CONTEMPRI, ARE AT 82" ± A.F.F.

ELECTRICAL BY OTHERS:
ANY BREAKERS WHICH ARE MOVED, ADDED OR REPLACED BY ON-SITE BUILDER, IN THE ELECTRICAL DISTRIBUTION PANEL MUST MATCH OR BE COMPATIBLE WITH THE ELECTRICAL DISTRIBUTION PANEL.

CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY FOR INCORRECT BREAKERS INSTALLED BY OTHERS AT THE JOB SITE.

1,800 sq. ft. 1ST FLOOR PLAN
9" CEILINGS THROUGHOUT

Contempri Homes
P.O. Box 100
West Weber, UT 84274
Ph: (801) 357-5361
Fax: (801) 357-5323
Website: www.contemprihomes.com

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PRELIMINARY #:

FILE #:
1112

PRODUCTION #:

REVISED DATE:
04/18/12
05/18/12
06/20/12
08/22/12

SCALE: 3/16"=1'-0"
DATE: 04/05/12
DRAWN BY: D.I.

MODEL: CHESTERFIELD II
DESCRIPTION: 1st STORY FLOOR PLAN
BUILDER: MLAG CUSTOM HOMES
CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO

SHEET NO:
A-3
OF
7 SHEETS:

ADVISEMENT TO THE ON-SITE BUILDER/DEALER AND/OR BUILDING OWNER:

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NOTE:
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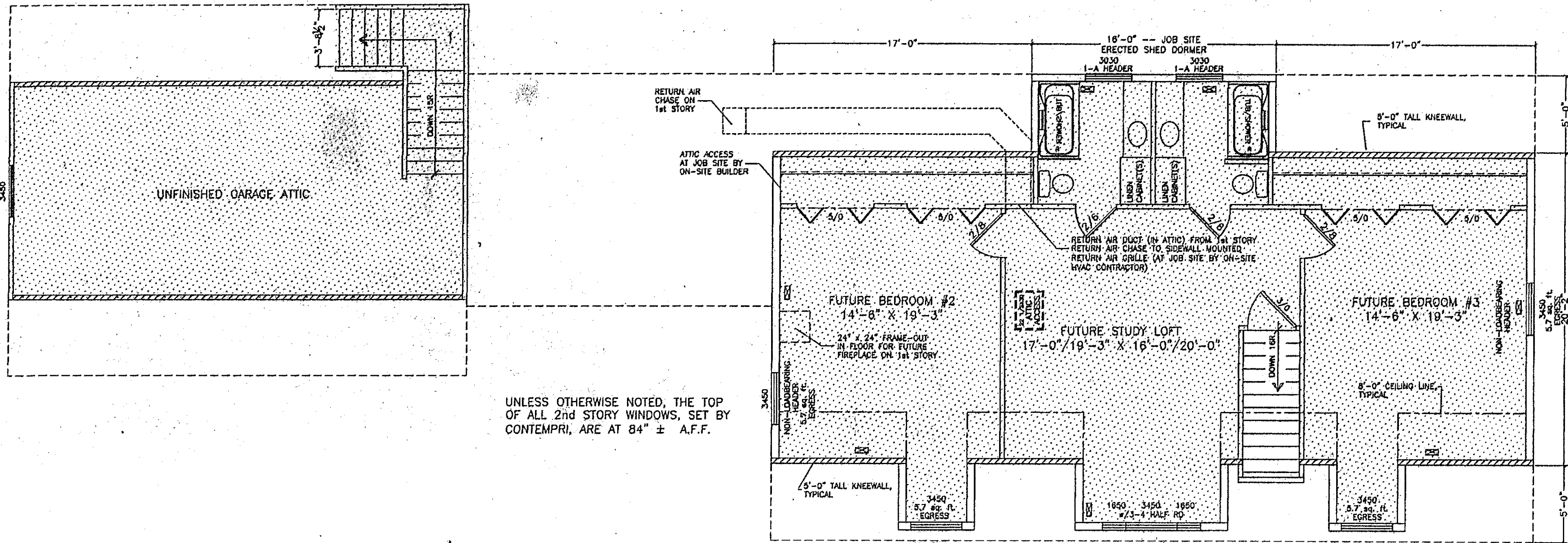
THE FOUNDATION SYSTEM (INCLUDING FOOTINGS, WALLS, PIERS, BEAMS, COLUMNS, LINTEL OR ETC), ATTACHED GARAGES, PORCHES, and ALTERATIONS or ADDITIONS TO THE FACTORY BUILT COMPONENTS.

NOTE:
FLOOR JOISTS FOR THE 2nd STORY ARE SIZED FOR SLEEPING AREAS PER THE SUGGESTED 2nd STORY FLOOR PLAN AS SHOWN ON THIS SHEET.

VARIANCES TO THE SUGGESTED 2nd STORY FLOOR PLAN MAY REQUIRE ADDITIONAL STRUCTURAL CONSIDERATION AND ANALYSIS OF THE 2nd STORY FLOOR JOISTS WHICH MAY INCUR ADDITIONAL COSTS.

WINDOW SCHEDULE			
IDENT. NUMBER	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT
3030	DOUBLE HUNG VINYL WINDOW W/ SCREEN	9.29	3.15
3450	DOUBLE HUNG VINYL WINDOW W/ SCREEN	12.97	8.49
1850, 3450, 1850	DOUBLE HUNG VINYL WINDOW W/ SCREEN	23.81	11.81

ALL WINDOWS ARE MANUFACTURED WITH THERMAL PANE GLAZING AND MAINTENANCE FREE VINYL EXTERIORS.



UNLESS OTHERWISE NOTED, THE TOP OF ALL 2nd STORY WINDOWS, SET BY CONTEMPRI, ARE AT 84" ± A.F.F.

SUGGESTED 1,146 sq. ft. 2nd STORY FLOOR PLAN (DOES NOT INCLUDE STAIR AREA)
8' CEILINGS MAX (FINISHED BY OTHERS AT JOB SITE)

Contempri Homes
P.O. Box 68
1001 West Weller
Piquetteville, IL 62274
Ph: (618) 357-5361
Fax: (618) 357-6829
Website: www.contemprihomes.com

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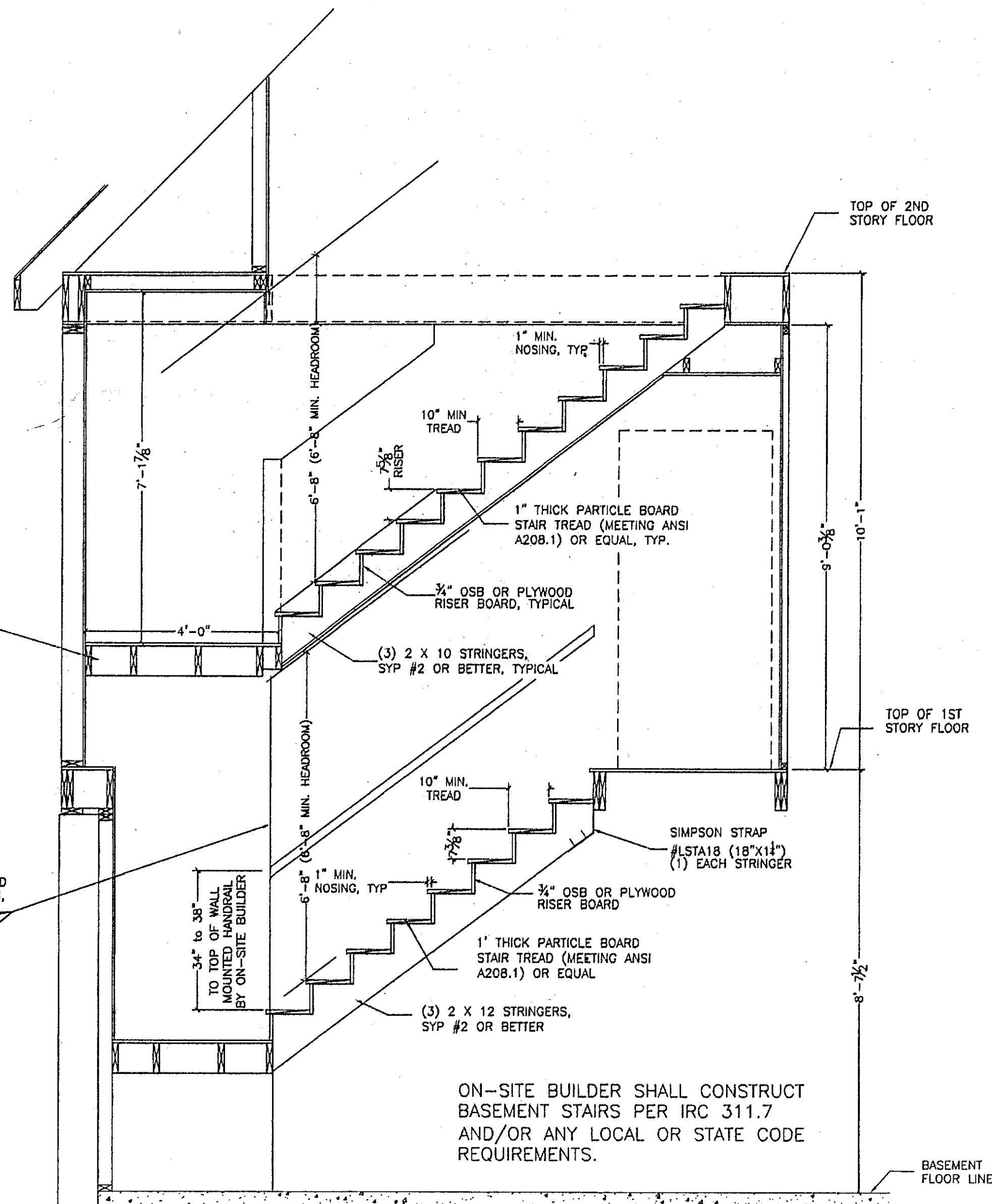
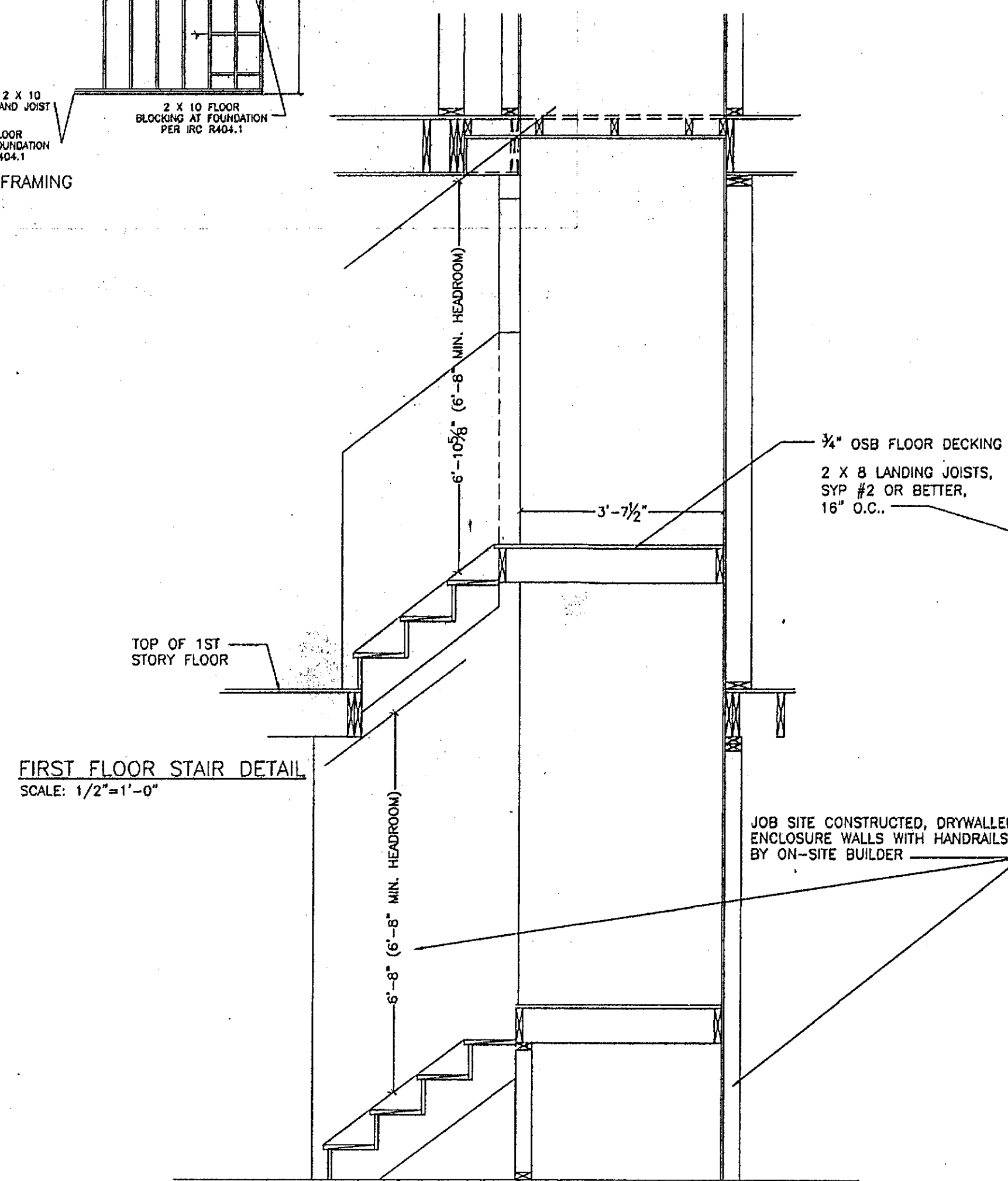
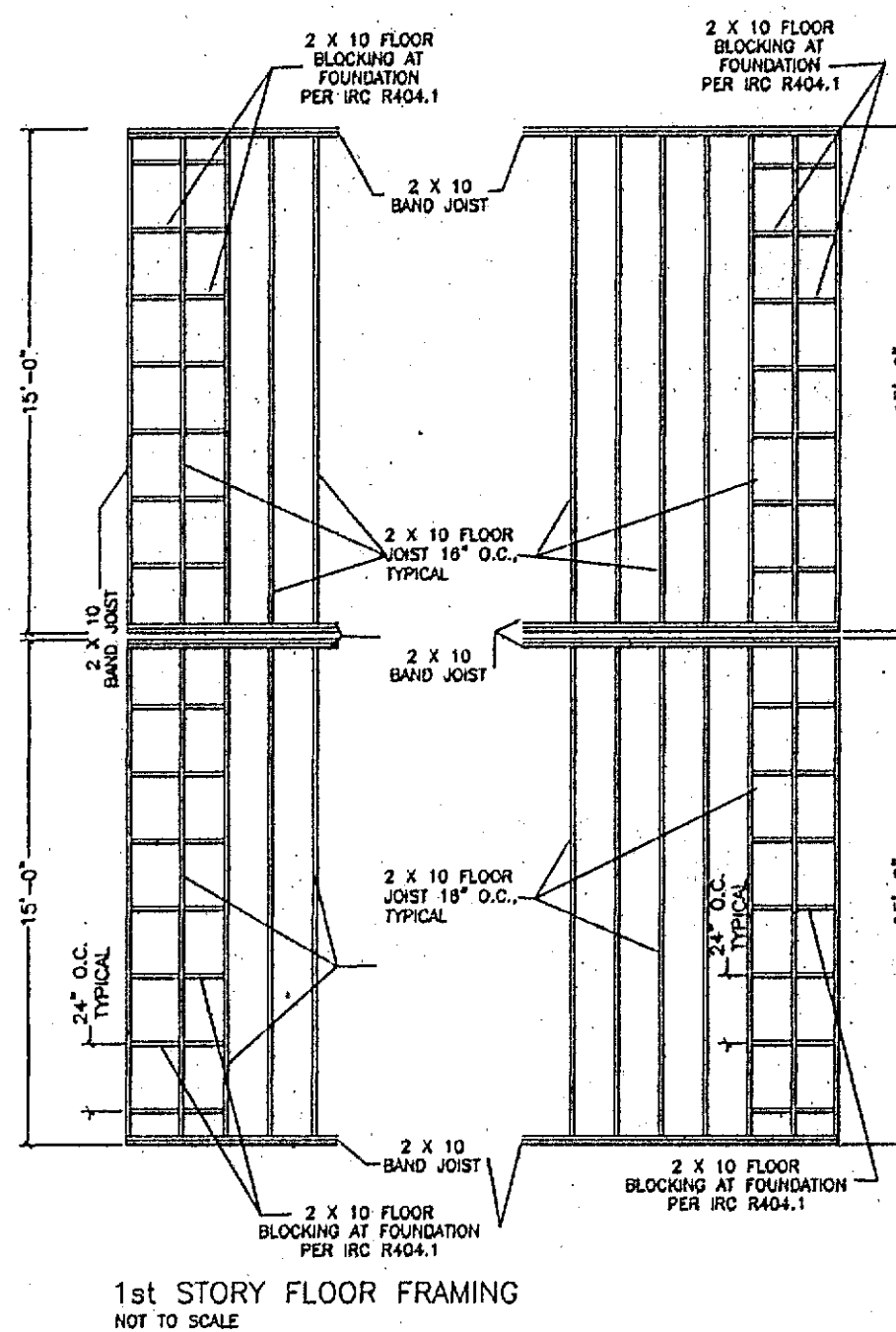
FILE #:
1112

PRODUCTION #:

REVISED
DATE: 04/18/12
05/18/12
06/20/12
08/22/12

MODEL: CHESTERFIELD II
DESCRIPTION: SUGGESTED 2nd STORY FLOOR PLAN
BUILDER: VILAGE CUSTOM HOMES
SCALE: 3/16"=1'-0"
CUSTOMER: ERIC ANDERSON
DATE: 04/05/12
CITY/STATE: TROY, MO
DRAWN BY: D.J.L.

SHEET NO:
A-4
OF
7 SHEETS:



ADVICE TO THE ON-SITE BUILDER/DEALER AND/OR BUILDING OWNER:

UPON FINAL COMPLETION OF THE MODULE SETTING PROCESS, CONTEMPRI HOMES ASSUMES NO RESPONSIBILITY AND/OR LIABILITY FOR ANY THEFTS WHICH MAY OCCUR AT THE JOB SITE AND/OR ANY WEATHER RELATED DAMAGE, INCLUDING BUT NOT LIMITED TO WATER OR WIND DAMAGE.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE ON-SITE BUILDER/DEALER OR OWNER TO SECURE THE MODULES AGAINST A THEFT POSSIBILITY AND TO INSURE THE MODULES ARE PROTECTED FOR ANY INCLIMATE WEATHER CONDITIONS.

ON-SITE BUILDER INSTALLED AT JOB SITE
PER MANUFACTURES INSTALLATION INSTRUCTIONS

R-30 FIBERGLASS INSULATION
W/VAPOR BARRIER
FOR FLAT CEILING

ON-SITE BUILDER INSTALLED AT JOB SITE

1 1/2" X 2" MIN. RAFTER SHIM
(TO ACHIEVE MAX. INSULATION R VALUE)

ON-SITE BUILDER INSTALLED AT JOB SITE
PER MANUFACTURES INSTALLATION INSTRUCTIONS

EXTRUDED POLYSTYRENE ATTIC RAFTER VENT
PROVIDING 1" VENTILATION AIR CHANNEL

R-30 FIBERGLASS INSULATION W/VAPOR
BARRIER FOR SLOPED CEILING

R-13 INSULATION W/VAPOR
BARRIER FOR KNEEWALL
1", R-6.5 "THERMAX" OR EQUAL
RIGID INSULATION

ALL EXTERIOR WALLS ARE CONTINUOUS SHEATHED WITH
3/4" OSB SHALL MEET IRC R602.10.5. EXTERIOR AND
INTERIOR WALL BRACING REQUIREMENTS AND CONSTRUCTION
SHALL BE PER IRC 602.10 THROUGH R602.11

BRACED WALL FRAMING, WALL ANCHORAGE AND WALL PANEL
CONNECTIONS SHALL BE PER IRC R602.11, R602.11.1 AND
R602.11.2.

CONTEMPRI INSTALLED

R-21 (min) SOY BASED
CLOSED CELL & 6" FIBERGLASS
INSULATION, R-40 (min) TOTAL

R-21 (min) SOY BASED
CLOSED CELL FOAM
INSULATION

3/4" O.S.B. WALL SHEATHING,
2 1/8" SPAN INDEX, STAPLED
WITH 16 GA X 3/8"
CROWN X 1 1/2" LEG, 3" O.C.
AT EDGE & 6" IN THE FIELD

2x6 STUDS, SPF STUD GRADE,
16" O.C.

"HOUSE WRAP" ON
EXTERIOR WALLS

VINYL SIDING

DOUBLE 2x10 RIM JOISTS,
SYP #2 OR BETTER

2x10 FLOOR JOISTS, SYP #2
OR BETTER, 16" O.C. (IN AREAS
OF PLUMBING AND/OR
HVAC DUCTS, JOISTS MAY
BE SPREAD TO
24" O.C. MAX).

NAIL THROUGH DOUBLE RIM
JOISTS INTO SILL PLATE
WITH 16d NAILS, 16" O.C.

FINISH GRADE 8" MIN. FROM
TOP OF FOUNDATION WALL

FOUNDATION BY OTHERS:
THIS DRAWING PROVIDES THE ON-SITE
BUILDING CONTRACTOR WITH THE
GENERAL FOUNDATION ARRANGEMENT
& RECOMMENDED INTERMEDIATE
BUILDING SUPPORTS ONLY. ALL ITEMS
INDICATED ON THIS DRAWING ARE FOR
INFORMATIONAL PURPOSES ONLY.
FOUNDATION IS NOT SUPPLIED OR
CONSTRUCTED BY CONTEMPRI HOMES.

CONTEMPRI INSTALLED

ROOF: FLIP-OVER, 2 X 6 SYP #2
OR BETTER 24" O.C. JOB SITE CONNECTED

RIDGE VENT

DOUBLE 1 X 6
RIDGE BOARD

SHIM AS
REQUIRED

REQUIRED ATTIC VENTILATION

1/2" X 1800 SQ. FT. OF ATTIC SPACE = 6.00 SQ. FT.

ATTIC VENTILATION SUPPLIED

70'-0" L.F. OF RIDGE VENT @ .087 SF/LF = 6.09 SQ. FT.

140 SQ. FT. SOFFIT VENT = 9.68 SQ. FT.

TOTAL VENTILATION SUPPLIED = 12.75 SQ. FT.

NOTE:

FLOOR JOISTS FOR THE 2nd STORY ARE SIZED FOR
SLEEPING AREAS PER THE SUGGESTED 2nd STORY
FLOOR PLAN, SHEET A-4.

VARIANCES TO THE SUGGESTED 2nd STORY FLOOR
PLAN MAY REQUIRE ADDITIONAL STRUCTURAL
CONSIDERATION AND ANALYSIS OF THE 2nd STORY
FLOOR JOISTS WHICH MAY INCUR ADDITIONAL COSTS.

CONTEMPRI INSTALLED
2x6 CEILING JOISTS, SYP #2
OR BETTER, 24" O.C.

CONTEMPRI INSTALLED
KNEEWALL (FRAMING ONLY)

2 X 4 STUDS, 16" O.C.
SPF STUD GRADE

CONTEMPRI INSTALLED
JOB SITE INSTALLED 2 1/2" OSB
FLOOR DECKING AT MATING WALL
JOB SITE INSTALLED 1/2"
BOLTS, 4'-0" O.C.

2 X 12 RIM JOISTS, SYP #2 OR BETTER

2 X 12 FLOOR JOISTS, SYP #1 OR BETTER,
16" O.C. (IN AREAS OF PLUMBING AND/OR
HVAC DUCTS, JOISTS MAY BE SPREAD TO
24" O.C. MAX).

3/4" O.S.B. T&G FLOORING, (GLUED AND
SCREWED) PERPENDICULAR TO FLOOR JOISTS,
WHOLE TOP SURFACE OF FLOOR/CEILING ASSEMBLY.

NOTE:

2nd STORY FLOOR JOISTS ON MODULES
WITH PLUMBING, MAY BE SUBSTITUTED
WITH 12" FLOOR TRUSSES.

BASEMENT STAIRS BY OTHERS:
STAIR LOCATION AND DIMENSIONS ARE BASED ON AN
ASSUMED BASEMENT WALL THICKNESS OF 8" AND
SLAB-TO-FLOOR HEIGHT OF 8'-7 1/2". SHOULD
THESE DIMENSIONS OR CONDITIONS CHANGE FOR ANY
REASON, REQUIRED ADJUSTMENTS WILL NEED TO BE
MADE TO THE STAIRS. CONTEMPRI HOMES ACCEPTS NO
RESPONSIBILITY FOR THESE CHANGES AND/OR
MODIFICATIONS WHICH ARE THE FULL RESPONSIBILITY
OF THE ON-SITE BUILDER AND/OR OWNER.

ON-SITE BUILDER INSTALLED
AT JOB SITE PER MANUFACTURES
INSTALLATION INSTRUCTIONS

R-19 INSULATION W/VAPOR BARRIER
AT RIM JOIST (BETWEEN FLOOR JOISTS)

RECOMMENDED 4" DRAIN TILE
IN GRAVEL BED

4" CONCRETE FLOOR SLAB

2 X WOOD BLOCK

CONTEMPRI INSTALLED
JOB SITE INSTALLED 1/2" BOLTS, 4'-0" O.C.

JOIST HANGERS

PIPE COLUMN CAPABLE OF SUPPORTING THE INDICATED
DESIGN LOADS; FURNISHED AND INSTALLED BY ON-SITE
BUILDER

6 MIL VAPOR BARRIER AND MIN 4" WELL COMPACTED
GRANULAR FILL

SELF SEALING FIBERGLASS
SHINGLES

30lb. SATURATED FELT
UNDERLAYMENT.

7/16" O.S.B. ROOF SHEATHING
WITH "H" CLIPS.

2 X 8 RAFTERS, SYP #2 OR
BETTER, 24" O.C.

2 X 8 SUB-FASCIA W/ALUMINUM
FASCIA CAP AND DRIP EDGE.

SIMPSON LTS12 @ 48" O.C.
W/12) 10d X 1 1/2" NAILS

CONTINUOUS VENTED ALUMINUM
SOFFIT PANELS AND TRIMS.

2" RIGID INSULATION; R-10

3/4" OSB

THERMAL PANE, VINYL WINDOWS
WITH SCREENS

2 X 6 MAX. TREATED SILL PLATE
MAB23 SIMPSON ANCHOR STRAP
@ 39" O.C. AND WITHIN 12" OF
END OF PLATES SET AT 2 1/4"
FROM OUTSIDE FACE OF
FOUNDATION WALL.

CONTEMPRI HOMES PROVIDES ONLY
PRE-ENGINEERED BUILDING COMPONENTS
FOR FINAL ERECTION AND COMPLETION BY
AN ON-SITE BUILDER/DEALER AND ASSUMES
NO RESPONSIBILITY FOR THE DESIGN OR
CONSTRUCTION OF:

THE FOUNDATION SYSTEM (INCLUDING
FOOTINGS, WALLS, PIERS, BEAMS,
COLUMNS, LINTEL OR ETC), ATTACHED
GARAGES, PORCHES, and ALTERATIONS
or ADDITIONS TO THE FACTORY BUILT
COMPONENTS.

4" DRAIN TILE IN GRAVEL BED

REINF. CONCRETE FOOTING

BUILDING CROSS SECTION SCALE: 1/2"=1'-0"

SEE FOUNDATION PLAN
FOR PIER FOOTING LOADS.

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PRELIMINARY #:

FILE #:
1112

PRODUCTION #:

REVISED
DATE:

SCALE: AS NOTED
DATE: 08/22/12

DRAWN BY: DJL

MODEL: CHESTERFIELD II
DESCRIPTION: CROSS SECTION
BUILDER: VILLAGE CUSTOM HOMES
CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO

SHEET NO:
A-6
OF
7 SHEETS:

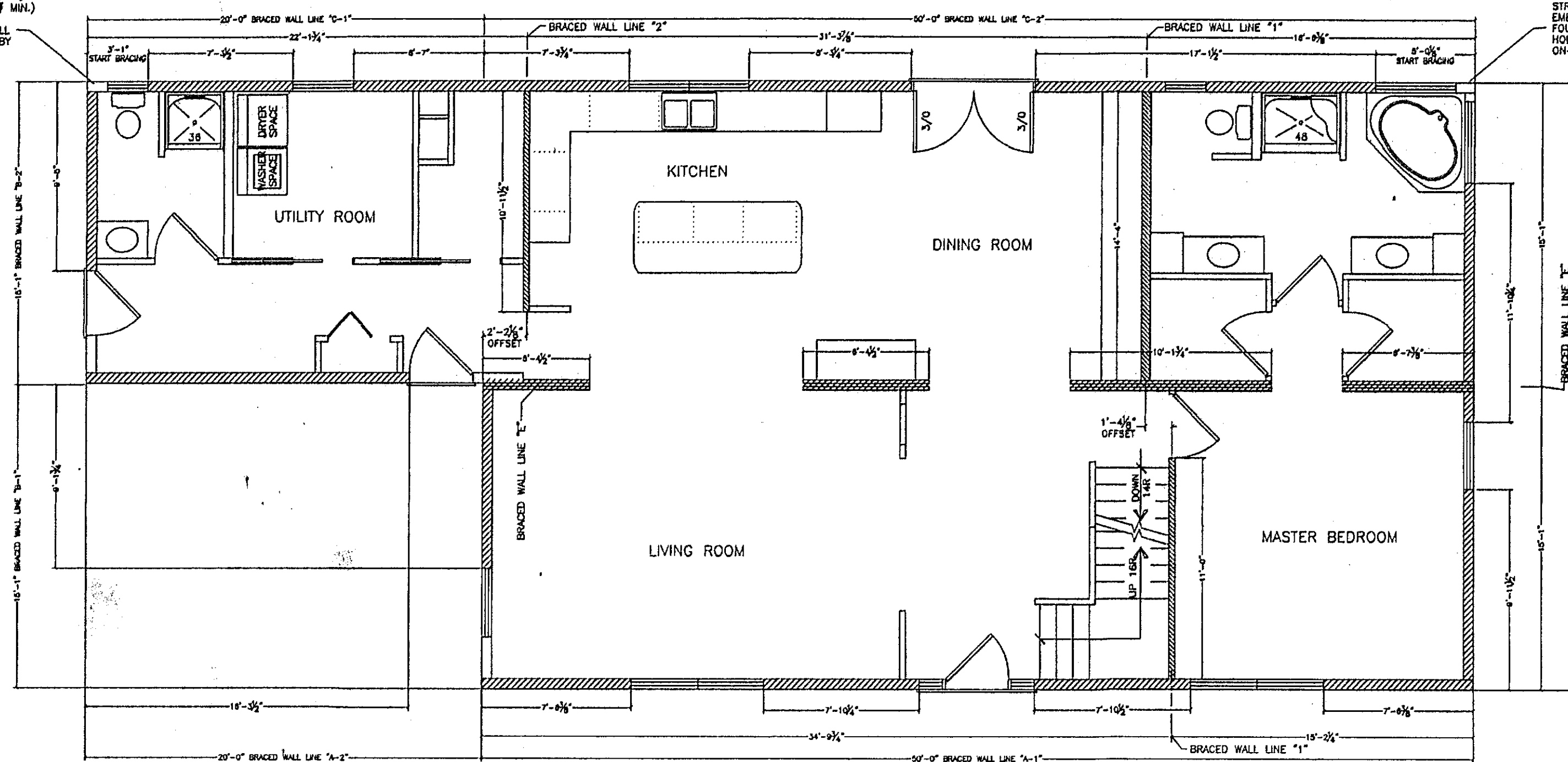
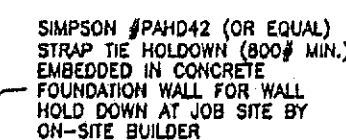
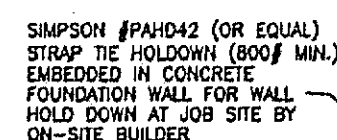
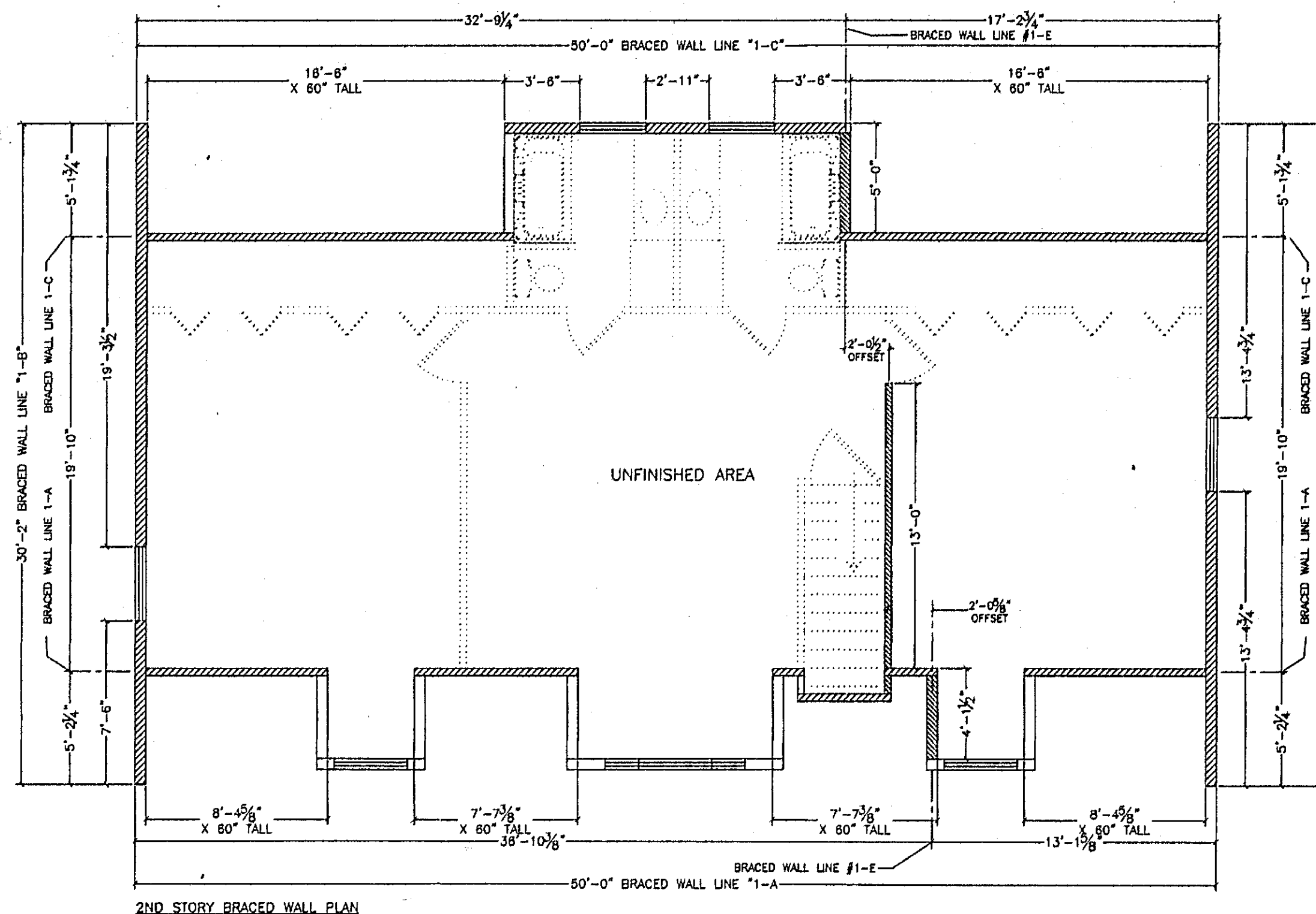
METHOD CS-WSB, CONTINUOUS SHEATHED BRACED WALL W/2 X STUDS 16" O.C. AND 7/16" OSB SHEATHING ON EXTERIOR, FASTENED WITH 1 1/2" STAPLES, 3" O.C. ON EDGES AND 1 1/2" STAPLES, 6" O.C. INTERMEDIATE.

METHOD GB, INTERIOR BRACED WALL W/2 X 4 STUDS 18" O.C. AND 1/2" GYPSUM BOARD ON ONE SIDE OF WALL FASTENED WITH 1 1/2" NAILS 7" O.C.

ALL EXTERIOR WALLS ARE CONTINUOUS SHEATHED WITH $\frac{7}{8}$ " OSB
SHALL MEET IRC R602.10.4

EXTERIOR AND INTERIOR WALL BRACING REQUIREMENTS AND
CONSTRUCTION SHALL BE PER IRC 602.10 THROUGH 602.11

FIRST FLOOR, BRACED WALL LINE REQUIREMENTS FOR SEISMIC ZONE C AT 1 STORY PORTION OF BUILDING			
BRACED WALL	LENGTH OF BRACED WALL LINE	REQUIRED	ACTUAL
WALL "A-2"	20'-0" (METHOD CS-WSP)	5'-2"	16'-3½"
WALL "B-2"	15'-11" (METHOD CA-WSP)	3'-11"	9'-5"
WALL "C-1"	20'-0" (METHOD CS-WSP)	5'-2"	13'-10½"



NOTE:
ALL INTERIOR BRACED WALLS SHALL HAVE AN
ADDITIONAL CEILING JOIST ABOVE WALL LINE
AND AN ADDITIONAL FLOOR JOIST BELOW WALL LINE.

BRACED WALL PLAN
SCALE: $\frac{1}{4}" = 1'-0"$
9' CEILINGS THROUGHOUT

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PRELIMINARY #:

FILE #:
1772

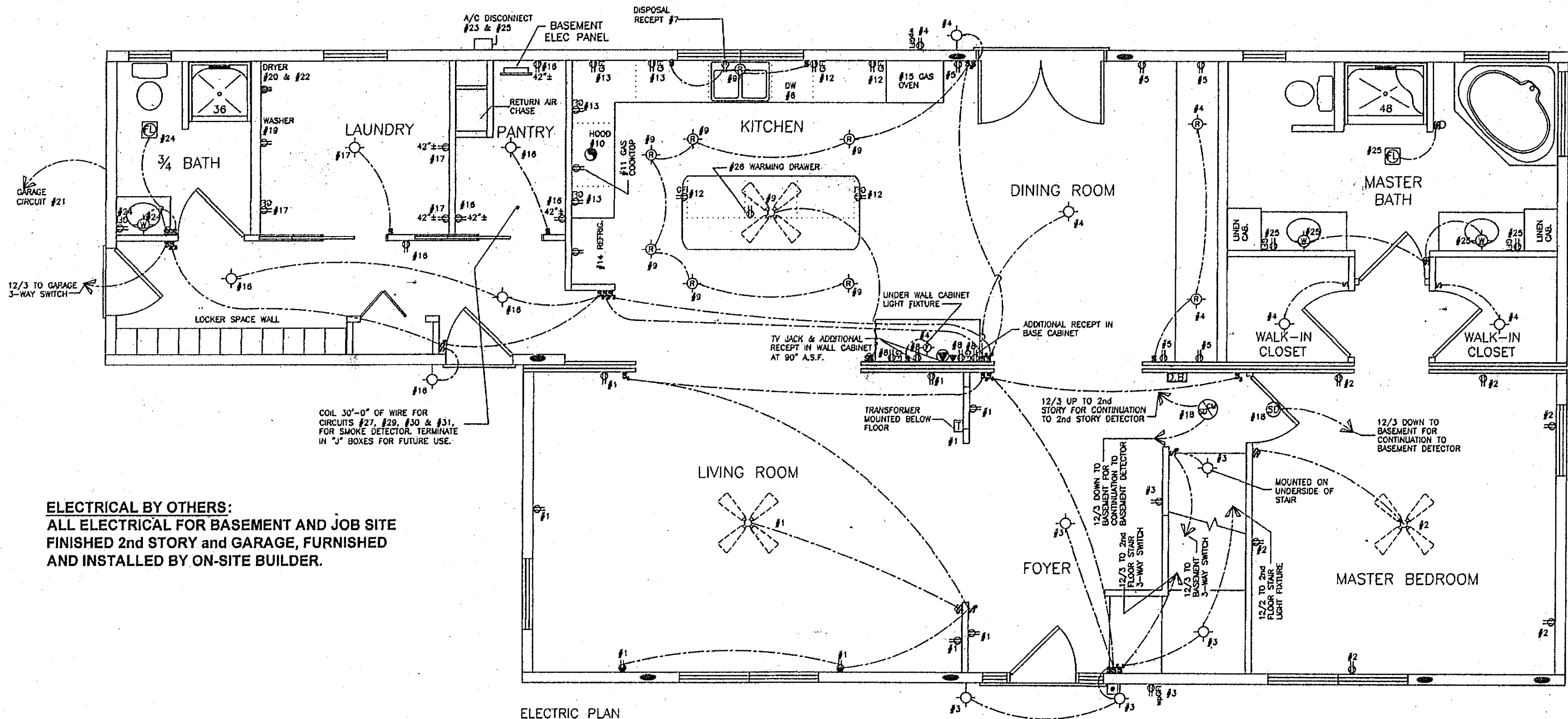
PRODUCTION #:

REVISED
DATE:

SCALE: 3/16"=1'-0"
DATE: 08/22/12
NBY: DJL

MODEL: CHESTERFIELD II	DESCRIPTION: BRACED WALL PLANS
BUILDER: VILLAGE CUSTOM HOMES	CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO	

SHEET NO:
A-7
OF
7 SHEETS:



ELECTRICAL BY OTHERS:
ALL ELECTRICAL FOR BASEMENT AND JOB SITE
FINISHED 2nd STORY and GARAGE, FURNISHED
AND INSTALLED BY ON-SITE BUILDER.

ELECTRIC PLAN

ELECTRICAL SYMBOL LEGEND

- ELECTRICAL DISTRIBUTION PANEL w/MAIN DISCONNECT (200 AMP)
- BATTERY BACKUP SMOKE DETECTOR
- CO2/SMOKE DETECTOR COMBO
- S SINGLE SWITCH
- S₃ 3-WAY SWITCH
- S₄ 4-WAY SWITCH
- TELEPHONE JACK
- T.V. JACK
- DOOR BELL
- DOOR BELL TRANSFORMER
- DOOR BELL BUTTON
- CEILING LIGHT FIXTURE
- WALL LIGHT FIXTURE
- RECESSED LIGHT FIXTURE
- HALF SWITCHED DUPLEX RECEPT
- DUPLEX RECEPT
- 240 VOLT RECEPT
- GFCI RECEPT
- WEATHER-PROOF GFCI RECEPT
- EXHAUST FAN/LIGHT COMBO
- A/C DISCONNECT
- CEILING FAN/LIGHT PREP

ELECTRICAL NOTES

- WIRING IS NON-METALLIC SHEATHED COPPER WITH GROUND IN EACH RUN FOR GROUNDING RECEPTS, FIXTURES AND EQUIPMENT.
- FOR A GROUNDED SYSTEM, THE CONNECTION SHALL BE MADE BY BONDING THE EQUIPMENT GROUNDING CONDUCTOR TO THE GROUNDED SERVICE CONDUCTOR.
- TYPE NM-B WIRE SHALL BE SECURED BY ELECTRICAL WIRE STAPLES OR EQUAL AT INTERVALS OF 4'-8" MAX. AND WITHIN 12" OF THE BOX OR FITTING.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE--2008
- FOR WIRE PROTECTION IN CONCEALED LOCATIONS, WIRING IS INSTALLED THROUGH BORED HOLES IN WOOD MEMBERS. HOLES SHALL BE BORED SO THAT THE EDGE OF THE HOLE IS NOT LESS THAN 1/4" FROM THE NEAREST EDGE OF THE WOOD MEMBER.
- ALL FIXTURES AND RECEPTS SHALL BE MOUNTED TO THE BOX ELECTRICALLY AND MECHANICALLY.
- ELECTRICAL INTERCONNECTION BETWEEN MODULES SHALL BE DONE IN ACCESSIBLE JUNCTION BOXES.
- BEDROOMS SHALL BE PROTECTED BY ARC-FAULT PROTECTOR CIRCUIT BREAKERS.

NOTE:
USE BATTERY BACK-UP DETECTORS.

ARC-FAULT BREAKERS IN ALL BEDROOMS.

ALL RECEPTS OTHER THAN COUNTER RECEPTS TO BE INSTALLED AT 15" A.F.F.

ALL WIRING WITHIN 72" OF THE NEAREST EDGE OF THE ATTIC ACCESS SHALL BE PROTECTED FROM DAMAGE BY USE OF GUARD STRIPS OR BY SECURING TO THE SIDE OF JOISTS (IF APPLICABLE TO THE PLAN).

ALL SWITCHES IN STAIRWAYS ARE TO BE LIGHTED.

CIRCUIT LEGEND

CIRCUIT NUMBER AND CIRCUIT NAME	VOLTS	WIRE SIZE	BREAKER
1 LIVING ROOM, FOYER & DB TRANS.	120	12/2 w/g	20 AMP
2 MASTER BEDROOM	120	12/2 w/g	20 AMP-ARC
3 FOYER, FRONT EXTERIOR & STAIR LIGHTING	120	12/2 w/g	20 AMP
4 W.I. CLOSET, BUFFET LIGHTING, DINING RM LIGHT & REAR	120	12/2 w/g	20 AMP
5 DINING ROOM RECEPTS	120	12/2 w/g	20 AMP
6 DISHWASHER	120	12/2 w/g	20 AMP
7 DISPOSAL	120	12/2 w/g	20 AMP
8 PLANNING CENTER RECEPTS AND LIGHT	120	12/2 w/g	20 AMP
9 KITCHEN LIGHTING	120	12/2 w/g	20 AMP
10 RANGE HOOD	120	12/2 w/g	20 AMP
11 GAS COOKTOP	120	12/2 w/g	20 AMP
12 KITCHEN RECEPTS	120	12/2 w/g	20 AMP
13 KITCHEN RECEPTS	120	12/2 w/g	20 AMP
14 REFRIGERATOR	120	12/2 w/g	20 AMP
15 GAS OVEN	120	12/2 w/g	20 AMP
16 HALL & PANTRY	120	12/2 w/g	20 AMP
17 LAUNDRY ROOM	120	12/2 w/g	20 AMP
18 SMOKE DETECTORS	120	12/2 w/g	20 AMP-ARC
19 WASHER	120	12/2 w/g	20 AMP
20 & 22 DRYER	240	10/3 w/g	30 AMP 2P
21 GARAGE	120	12/2 w/g	20 AMP
23 & 25 A/C DISCONNECT	240	10/2 w/g	30 AMP 2P
24 3/4 BATH	120	12/2 w/g	20 AMP
26 WARMING DRAWER	120	12/2 w/g	20 AMP
27 FUTURE 2nd STORY BEDROOM CIRCUIT	120	12/2 w/g	20 AMP-ARC
29 FUTURE 2nd STORY BEDROOM CIRCUIT	120	12/2 w/g	20 AMP-ARC
30 FUTURE 2nd STORY CIRCUIT	120	12/2 w/g	20 AMP
31 FUTURE 2nd STORY CIRCUIT	120	12/2 w/g	20 AMP

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FILE #:
1112

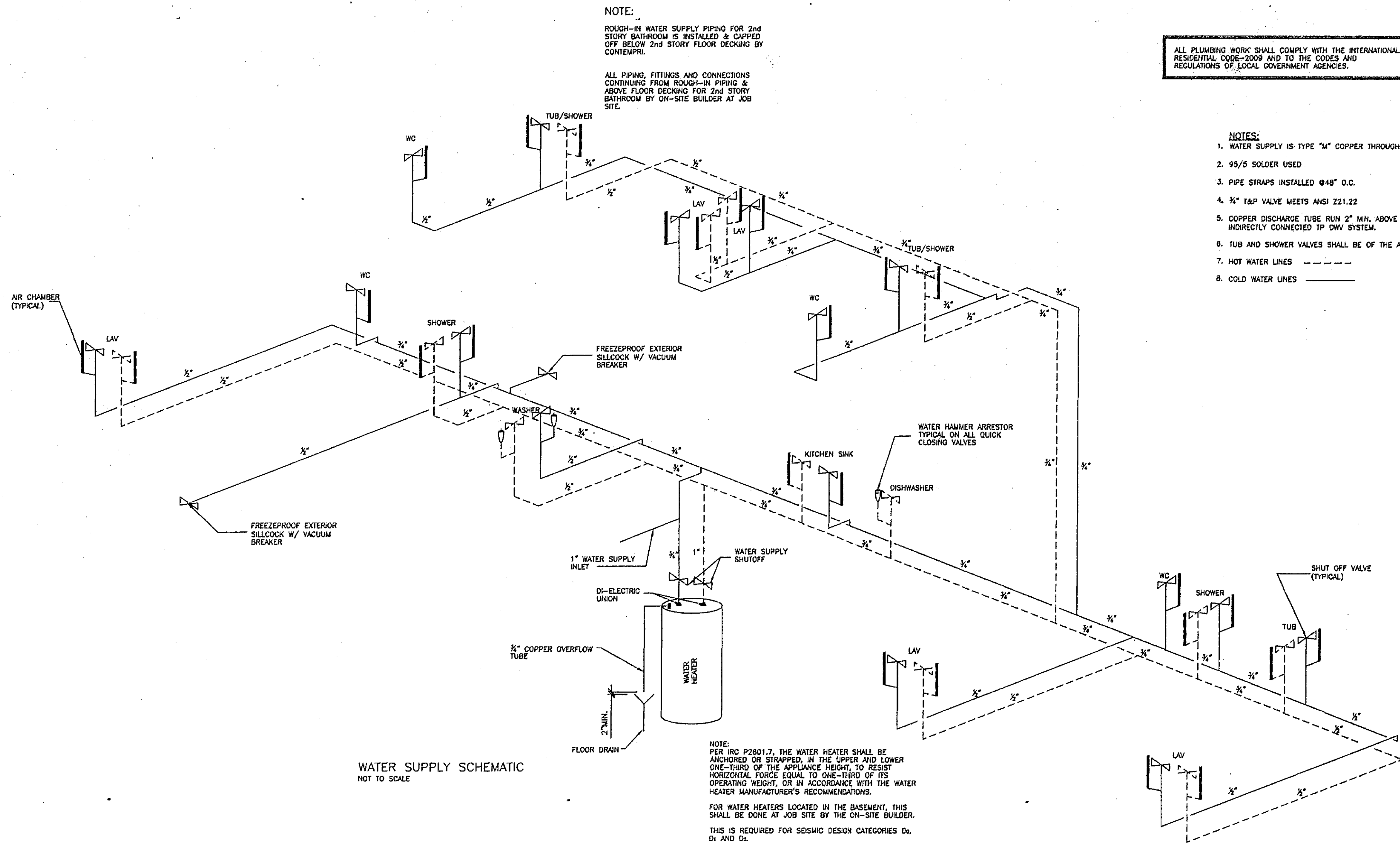
PRODUCTION #:

REVISED
DATE:

MODEL: CHESTERFIELD II
DESCRIPTION: 1st STORY ELECTRIC PLAN
BUILDER: VILLAGE CUSTOM HOMES
CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO
SCALE: 1/4"=1'-0"
DATE: 08/22/12
DRAWN BY: DUL

SHEET NO:
M-1
OF
3 SHEETS:

1:\Construction Drawings\2012\Construction Drawings\1112 - Village Custom Homes - Anderson.dwg, 8/27/2012 8:52:53 AM



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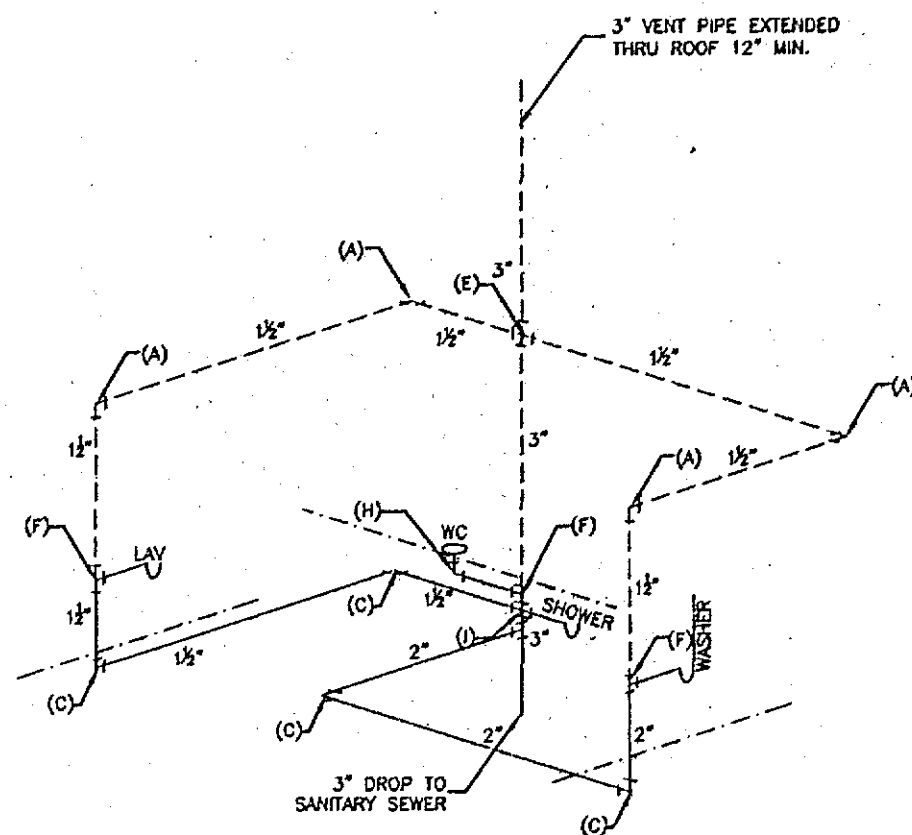
REVISED
DATE:

SCALE: NONE
DATE: 08/22/12

DRAWN BY: DJL

MODEL: CHESTERFIELD II
DESCRIPTION: WATER SUPPLY SCHEMATIC
BUILDER: VILLAGE CUSTOM HOMES
CUSTOMER: ERIC ANDERSON
CITY/STATE: TROY, MO

SHEET NO:
M-2
OF
3 SHEETS:



3/4 BATH and LAUNDRY DWV SCHEMATICS
NOT TO SCALE.

NOTES:

1. PIPING IS SCHEDULE 40 PVC
2. VENT OFFSETS ARE 8" MIN. ABOVE HIGHEST FIXTURE FLOOD LEVEL.
3. ALL BELOW FLOOR LINE PLUMBING AND 3" VENTS THROUGH ROOF TO BE DONE BY OTHERS MEETING STATE AND LOCAL CODES.
4. VERTICAL AND HORIZONTAL PIPE SUPPORT 48" O.C. MAX. BY NAILED GUSSET PLATES, BLOCKS OR PIPE STRAPS.
5. DRAIN LINES SLOPED 1/4" PER FOOT MIN.
6. VENT LINES SLOPED 1/8" PER FOOT MIN.
7. VENT LINES -----
8. WASTE LINES -----

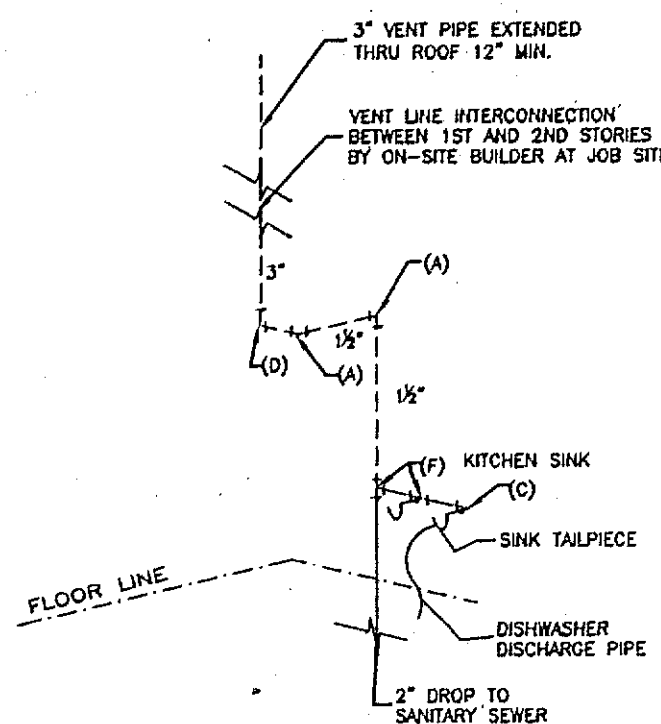
DWV FITTINGS

- (A) - 90° ELL
(B) - COMB. WYE & 1/2 BEND
(C) - 90° LONG TURN ELL
(D) - TEE
(E) - CROSS (vent)
(F) - SAN TEE
(G) - DWV TEE with 90° SIDE INLET
(H) - 4"x3" CLOSET ELL
(I) - DOUBLE COMB. WYE & 1/2 BEND

TRAP TO VENT DISTANCE

KIT SINK	18"
TUB/SHOWER	18" MAX
WC	18"
LAVS	12" MAX
WASHER	24" MAX

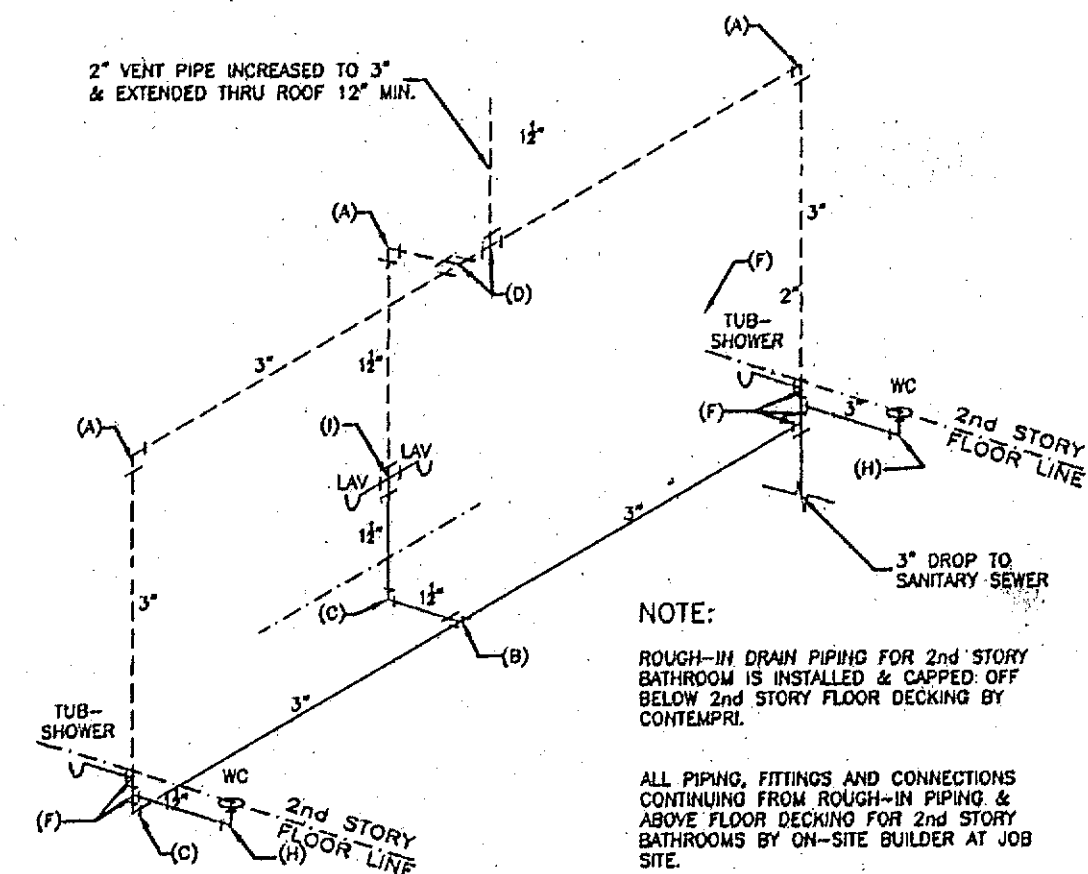
NOTE:
ALL PENETRATIONS THROUGH TOP WALL
PLATE, MID-SPAN FIRE-BLOCKING AND
BOTTOM WALL PLATE TO BE FIRE CAULKED.



KITCHEN DWV SCHEMATIC
NOT TO SCALE

1. DISHWASHER INSTALLATION SHALL BE PER MANUFACTURERS INSTRUCTIONS
2. THE DISCHARGE PIPE FROM THE DISHWASHER SHALL BE INCREASED TO A MINIMUM OF 3/4" IN DIAMETER AND SHALL BE CONNECTED WITH A WYE FITTING TO THE SINK TAILPIECE.
3. THE DISHWASHER DISCHARGE PIPE SHALL RISE AND BE SECURELY FASTENED TO THE UNDERSIDE OF THE COUNTER BEFORE CONNECTING TO THE SINK TAILPIECE.

ALL PLUMBING WORK SHALL COMPLY WITH THE INTERNATIONAL
RESIDENTIAL CODE-2009 AND TO THE CODES AND
REGULATIONS OF LOCAL GOVERNMENT AGENCIES.

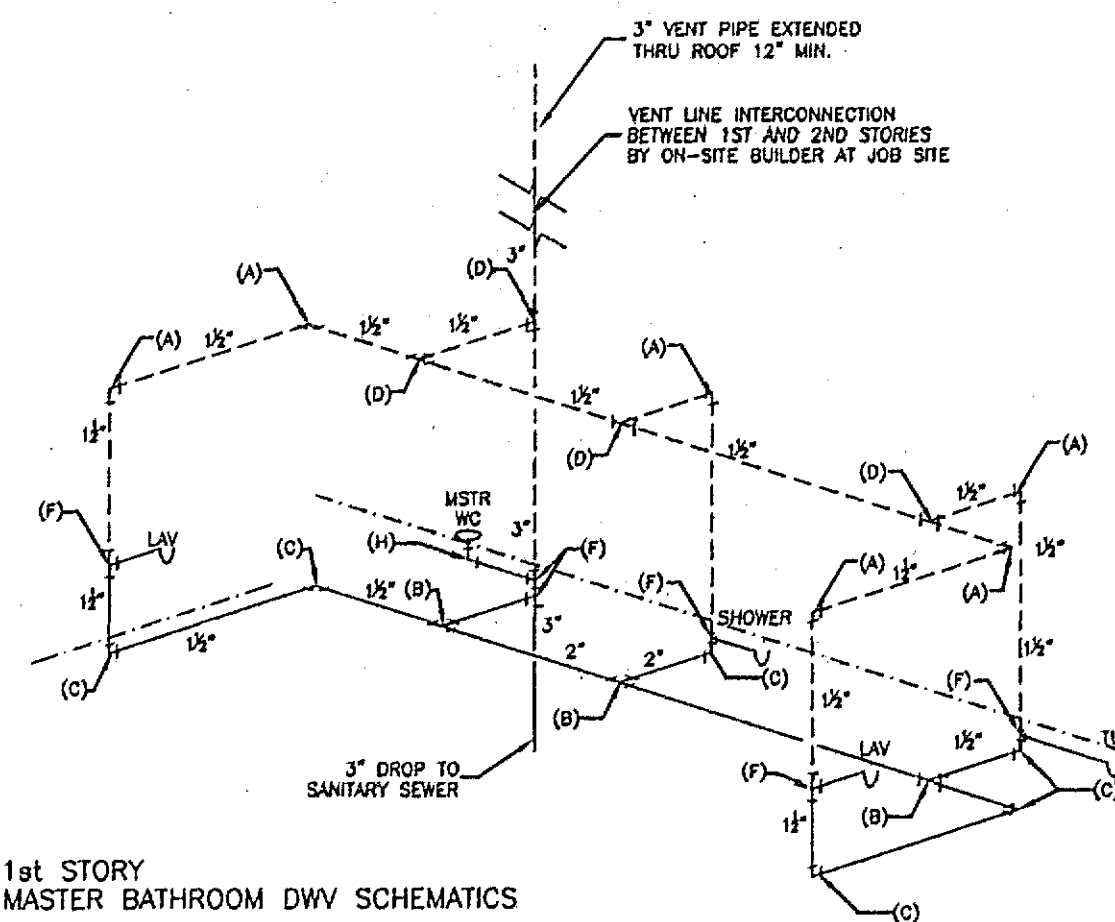


2ND STORY BATHROOM DWV SCHEMATIC
NOT TO SCALE

NOTE:

ROUGH-IN DRAIN PIPING FOR 2ND STORY
BATHROOM IS INSTALLED & CAPPED OFF
BELOW 2ND STORY FLOOR DECKING BY
CONTEMPRI.

ALL PIPING, FITTINGS AND CONNECTIONS
CONTINUING FROM ROUGH-IN PIPING &
ABOVE FLOOR DECKING FOR 2ND STORY
BATHROOMS BY ON-SITE BUILDER AT JOB
SITE.



1st STORY
MASTER BATHROOM DWV SCHEMATICS
NOT TO SCALE

Contempri Homes

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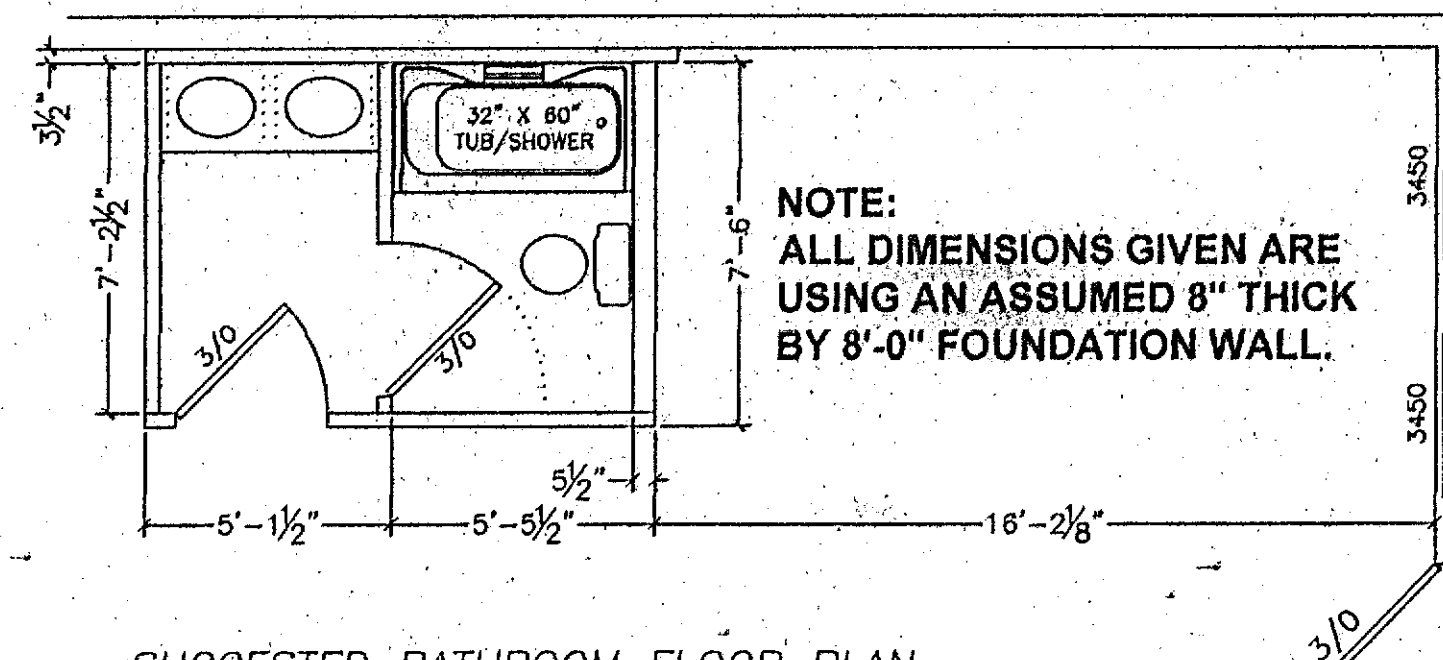
PRODUCTION #:

REVISED
DATE:

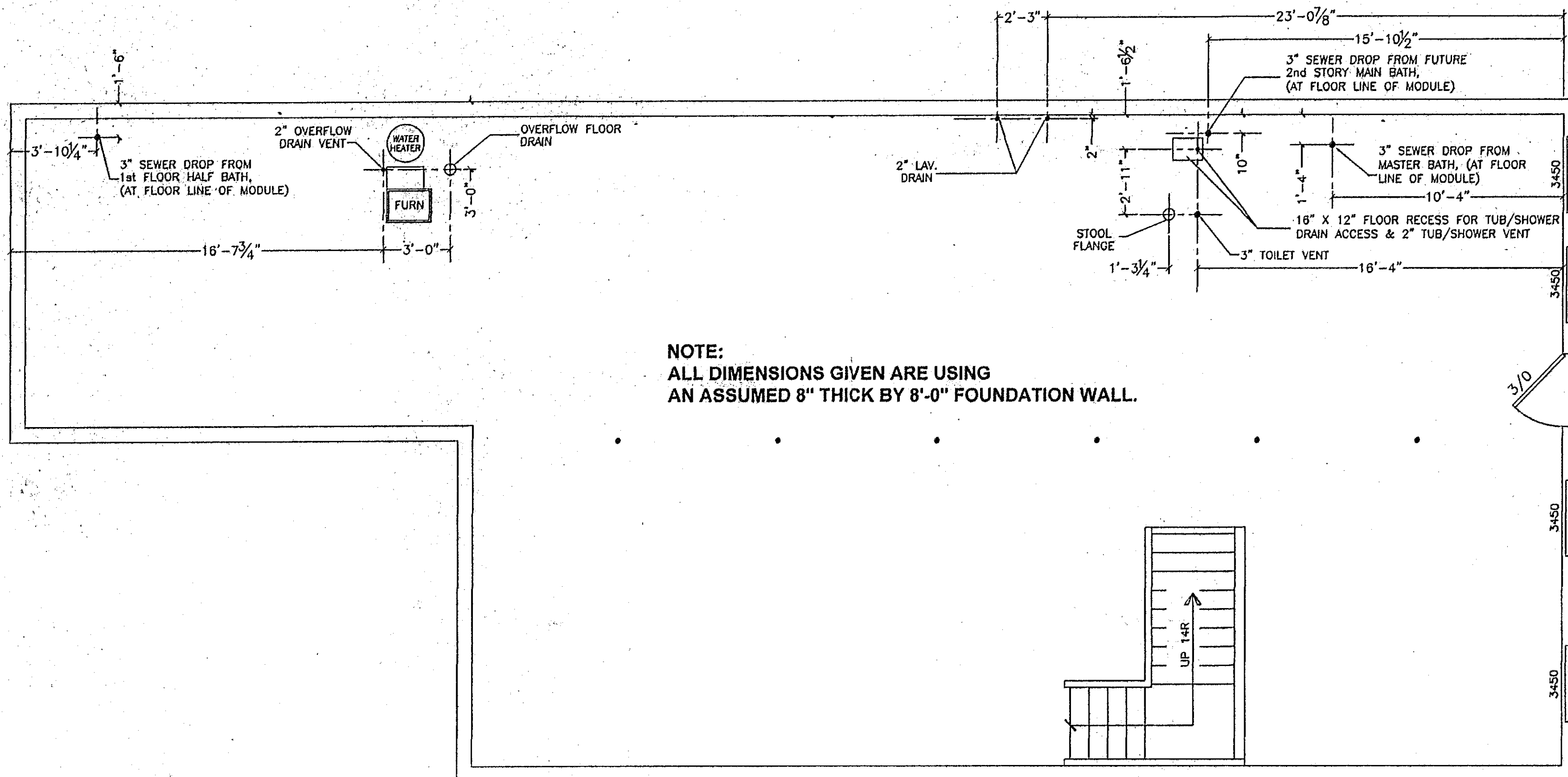
MODEL: CHESTERFIELD II	DESCRIPTION: DWV SCHEMATICS	SCALE: NONE	DATE: 08/22/12	DRAWN BY: DJL
BUILDER: VILAGE CUSTOM HOMES	CUSTOMER: ERIC ANDERSON	CITY/STATE: TROY, MO		

SHEET NO:

M-3
OF
3 SHEETS:



SUGGESTED BATHROOM FLOOR PLAN
BY OTHERS AT JOB SITE



BASEMENT UNDERFLOOR PLUMBING PLAN
BY OTHERS AT JOB SITE

MODEL: CHESTERFIELD II	REVISED	DATE:
DESCRIPTION: UNDER BASEMENT FLOOR SLAB PLUMBING PLAN		
DEALER: VILLAGE CUSTOM HOMES	SCALE: 1/4"=1'-0"	
CUSTOMER: ERIC ANDERSON	DATE: 08/22/12	
CITY/STATE: IRON, MO		