

## BUILDING CODES

2021 INTERNATIONAL RESIDENTIAL CODE  
2020 NATIONAL ELECTRICAL CODE

## FLOOR DESIGN LOADS

RESIDENTIAL FLOOR DESIGN LOADS: LIVE LOAD – 45 LBS/5F  
DEAD LOAD – 10 LBS/5F

## ROOF DESIGN LOADS

RESIDENTIAL ROOF DESIGN LOADS: LIVE LOAD – 20 LBS/5F  
DEAD LOAD – 20 LBS/5F

## WIND DESIGN LOADS

115 MPH

## GENERAL FOUNDATION NOTES

- (1) # 5'S SHALL RUN CONTINUOUS AT THE TOP, MIDDLE, AND BOTTOM OF ALL FOUNDATION WALLS.
- (2) # 5'S SHALL RUN CONTINUOUS IN CONCRETE FOOTING SIZED AS PER THE PLAN.
- 1/2" DIAMETER ANCHOR BOLTS SHALL OCCUR @ 6'-0" O.C. AND @ ALL BUILDING CORNERS.
- A 2 X 4 CONCRETE KEYWAY SHALL BE USED BETWEEN THE FOUNDATION WALL AND THE CONCRETE FOOTING.
- HOLD TOP OF GARAGE SLAB A MIN. OF 4" BELOW TOP OF FOUNDATION WALL.
- VENT STACK DENOTED BY THIS SYMBOL .
- ALL FROST WALLS TO BE A MIN. 36" BELOW GRADE (FIELD VERIFY @ SITE).
- NAIL EACH FLOOR JOIST TO SILL PLATE W/ 2 – 16 PNLs. NAIL JOIST TOGETHER OVER BEAM W/ (3) – 16P NAILS.
- PROVIDE SOLID 2x BLOCKING @ ALL BEARING AREAS. (TYP.)
- PROVIDE HOSE BIBB @ MAIN WATER CONNECTION.
- USE "HYDRO-CHANNEL" DRAINAGE SYSTEM OR EQUAL.
- PROVIDE 110V, DUPLEX RECEPTACLE (GFCI) @ ELEC. PANEL BOX, VERIFY LOCATION W/ UTILITY CO.
- LIGHTNING PROTECTION IS REQUIRED IN THE VICINITY OF THE ELECTRIC PANEL.
- KEY FOUNDATION WALLS FOR CONCRETE SLAB, CONTINUOUS @ REAR AND BOTH SIDES IN GARAGE.
- (2) # 5'S SHALL BE PLACED IN THE WALL ON ALL SIDES OF DOOR AND WINDOW OPENINGS IN CONCRETE FOUNDATION WALL THEY SHALL EXTEND A MINIMUM OF 2'-0" PAST THE OPENING ON EACH SIDE.
- ALL STEEL BEAMS TO BE GROUTED SOLID IN POCKETS.
- ALL STEEL BEAMS JOINTS TO BE WELDED OR BOLTED TOGETHER.
- ALL STEEL BEAMS TO BE PRIME PAINTED.
- ALL STEEL COLUMNS TO BE PRIME PAINTED.
- ALL UNFINISHED BASEMENT RECEPTABLES TO BE GFCI.
- FOUNDATION REQUIRES 1/2" DIA. ANCHOR BOLTS WITH AT LEAST 7" EMBEDMENT TWO (2) PER PLATE AND 1"-0" FROM CORNERS.
- BOTTOM PLATES IN STUD WALLS OF BASEMENT MUST BE PRESSURE TREATED.
- #4 BARS VERTICAL @ 4'-0" O.C. WITH #4 DOWELS TO PROJECT 18" OUT OF FOOTING.

## GENERAL CONSTRUCTION NOTES

- CONTRACTORS SHALL ABIDE BY THE 2021 IRC CODE, 2020 NEC, AND ALL LOCAL CODES AND ORDINANCES.
- ALL EXTERIOR WALLS SHALL BE 2x STUD WALLS W/ 7/16" OSB SHEATHING WRAPPED WITH TYVEK UNLESS NOTED OTHERWISE.
- VERIFY DIMENSIONS OF ALL EQUIPMENT INCLUDING SHOWERS, BATHS, ETC. WITH OWNER TO VERIFY CLEARANCES REQUIRED.
- ALL DIMENSIONED LUMBER SHALL BE NO. 2 SOUTHERN PINE OR EQUAL UNLESS NOTED OTHERWISE.
- ALL HEADERS ABOVE DOORS AND WINDOWS SHALL BE (2) 2x12's UNLESS NOTED OTHERWISE.
- VERIFY THE LOCATION OF OUTLETS, LIGHT FIXTURES, PHONE JACKS, CABLE, HOSE BIBB, ETC. WITH OWNER.
- CABINET MAKER TO FIELD VERIFY ALL CONDITIONS PRIOR TO SHIPMENT OF ALL CASEWORK & COUNTERTOPS.
- DO NOT SCALE DRAWINGS – FOLLOW WRITTEN DIMENSIONS. ALL DIMENSIONS ARE TO STUDS OR CONCRETE WALL UNLESS NOTED OTHERWISE.
- ALL FRAMING LUMBER SHALL BE MARKED MIN. 1200 F.S.
- FLOOR JOISTS SHALL BE FASTENED TO FOUNDATION SILL PER FLOOR SYSTEM MANUFACTURER'S RECOMMENDATIONS.
- THE FLOOR JOISTS TOGETHER PER MANUFACTURER'S RECOMMENDATIONS.
- NAIL 1 X 4 TO BOTTOM OF FLOOR JOISTS ON EACH SIDE OF BEAM.
- USE DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS.
- ALL NAILING MUST COMPLY WITH THE 2021 IRC CODE.
- NAIL EACH FLOOR JOIST TO SILL PLATE PER MANUFACTURER'S RECOMMENDATIONS.
- VERIFY TRUSS HANGERS FOR TRUSS CONNECTION TO ORDER TRUSSES.
- CONTRACTOR SHALL USE SIMPSON HURRICANE STRAPS TO TIE TRUSSES TO DOUBLE TOP PLATE.
- WOOD STAIR TO BE DESIGNED BY STAIR MANUFACTURER AS PER OWNERS INSTRUCTIONS. STAIR MUST MEET ALL APPLICABLE CODE REQUIREMENTS.
- HANDRAILS TO HAVE A CIRCULAR CROSS SECTION W/ MIN. DIA. OF 1 1/4" BUT NOT MORE THAN 2" (TYP.)
- MIN. TREAD DEPTH SHALL BE 10". A 1" NOSING IS REQUIRED W/ SOLID RISERS. MAX. RISER HEIGHT 7 3/4".
- GUARDS AND HANDRAILS PER THE 2021 IRC BUILDING CODE. MAX. 4" SPACING BETWEEN HORIZONTAL AND/OR VERTICAL GUARD RAILS.
- DRYWALL INSTALLATION MUST BE IN ACCORDANCE WITH THE CYPUSM ASSOCIATION'S RECOMMENDATIONS IN THICKNESS, NAILING, TAPING, AND ON CORRECT STUD SPACING. FIRE-RATED TYPES SHALL BE INSTALLED IN ACCORDANCE W/ TEST ASSEMBLIES.
- PROVIDE 5/8" TYPE "X" DRYWALL ON FIRE PARTITIONS AND FIRE CEILINGS.
- WATER RESISTANT BACKER BOARD IN ALL BATHTUBS AND SHOWERS.
- INTERIOR FINISH MATERIALS SHALL NOT HAVE A FLAME SPREAD EXCEEDING 200.
- ALL SOFFIT AND DROP CEILINGS TO BE FIRE STOPPED.
- CAULKING AND SEALANTS: EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALL AND FOUNDATION, BETWEEN WALL AND ROOF, BETWEEN WALL PANELS AT PENETRATIONS OR UTILITY SERVICES THRU WALLS, FLOORS, AND ROOFS, AND ALL OTHER OPENINGS IN THE EXTERIOR ENVELOPE SHALL BE SEALED IN AN APPROVED MANNER.
- FINISHED GRADE MUST SLOPE AWAY FROM FOUNDATION 1" PER FOOT FOR 8 FEET.
- DOWN SPOUTS TO HAVE SPLASH BLOCKS OR OTHER APPROVED EROSION PROTECTION. NO DOWNSPOUTS OR DRAIN TIE SHALL BE CONNECTED TO SANITARY SEWERS.
- ALL SHEATHING SHALL BE NAILED PER THE 2021 IRC.
- PROVIDE MOISTURE BARRIER ON SHEATHING BEHIND EXTERIOR WALL VENER.

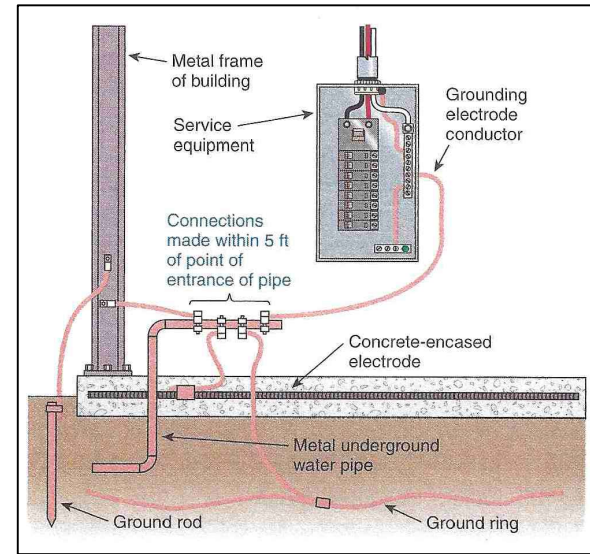
## 1 LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

- CORROSION RESISTANT FLASHING IS REQUIRED AT THE TOP AND SIDES OF ALL EXTERIOR WINDOW AND DOOR OPENINGS AND AT THE INTERSECTION OF CHIMNEYS AND OTHER MASONRY CONSTRUCTION AND FRAME WALLS. EXCEPTION: NOT REQUIRED WHERE APPROVED WATER RESISTANT SHEATHING AND CAULKING USED AT THE TOP AND SIDES SO AS TO BE FLAMEPROOF.
- ALL EXPOSED MATERIALS FOR PORCHES, CARPORTS, SOFFIT, OVERHANGS, CARPORT CEILINGS ETC., TO BE EXTERIOR GRADE MATERIALS.
- INSULATION MINIMUMS: R-42 IN CEILINGS, R-19 IN 6" EXTERIOR WALLS, R-30 IN EXPOSED FLOORS, AND R-13 IN 4" EXTERIOR WALLS.
- DROPPED CEILINGS BELOW WOOD JOIST OR ATTACHED DIRECTLY TO WOOD FLOOR TRUSS SHALL BE DRAFT STOPPED AT 500 SQ. FT. INTERVALS AND PARALLEL TO FRAMING MEMBERS. A 22" X 30" MINIMUM ACCESS OPENING REQUIRED FOR ATTIC AREAS WITH A CLEAR HEIGHT OF AT LEAST 30". ACCESS DOORS IN DRAFT STOPPING SHALL BE SELF-CLOSING AND OF APPROVED MATERIAL.
- ALL PATIO DOORS, SHOWER DOORS, PANELS AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY, APPROVED WIRE GLASS OR APPROVED SHATTER RESISTANT PLASTIC.
- EACH BEDROOM SHALL HAVE AT LEAST ONE WINDOW WITH 5.7 S OR GREATER OF CLEAR EGRESS.
- ANY GLASS SERVING AS PART OF TUB OR SHOWER ENCLOSURE MUST BE TEMPERED.
- ALL MAIN DOORS AND GLAZING WITHIN 24" ARC OF DOORS SHALL HAVE TEMPERED GLASS.
- GLAZING LARGER THAN 9 SF WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR, WITH A WALKING SURFACE WITHIN 36" OF GLAZING, AND EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR MUST BE TEMPERED.
- ALL GAS APPLIANCES MUST HAVE AN INDIVIDUAL AND ACCESSIBLE SHUT-OFF VALVE WITHIN 6 FEET OF, AND IN THE SAME ROOM AS THE APPLIANCE. SHUT-OFF VALVES FOR GAS LOSS MUST BE WITHIN 4' OF THE OUTSIDE OF THE HEARTH, ACCESSIBLE AND IN THE SAME ROOM (VALVE MUST BE OUTSIDE OF APPLICABLE HOUSING).

- FIREPLACE VENTED PER MANUFACTURER'S RECOMMENDATIONS.
- FIREPLACE INSTALLATION PER MANUFACTURER, U.L. AND IRC SPECIFICATIONS.
- PLUMBING PER NATIONAL PLUMBING CODE OR LOCAL CODES.
- SADDLE TYPE VALVES ARE NOT ALLOWED FOR ANY APPLICATION.
- WHIRLPOOL TUBS REQUIRE ACCESS PANEL TO PUMP.
- VENT STACK DENOTED BY THIS SYMBOL .
- ELECTRIC WIRING PER NATIONAL ELECTRIC CODE. ELECTRICAL SERVICE ENTRANCE SIZE AND LOCATION BY ELECTRICAL CONTRACTOR.
- THERMOSTATS SHALL BE CAPABLE OF BEING SET FROM 55°F TO 75°F FOR HEATING, FROM 70°F TO 85°F FOR COOLING & 55°F TO 85°F FOR BOTH. MUST BE ADJUSTABLE TO PROVIDE A TEMP. RANGE OF 10° F BETWEEN FULL HEATING AND FULL COOLING.
- AIR INFILTRATION RATE FOR WINDOWS SHALL NOT EXCEED 0.3 CFM PER FOOT OF SASH TRACT. DOOR SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT OF DOOR AREA.
- WINDOWLESS BATHROOMS REQUIRE EXHAUST FROM VENT TO EXTERIOR OF 50 CFM MIN.
- SMOKE DETECTORS TO BE U.L. LISTED 120 V. INTERWIRED W/ BATTERY BACKUP. INSTALL PER NFPA.
- ARC-FAULT PROTECTION IS REQUIRED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, AND HALLWAYS.
- GROUND FAULT CIRCUIT INTERRUPTERS – REQUIRED – ALL 125 AND 250 VOLT RECEPTABLES IN BATHROOMS, GARAGES, AND ACCESSORY BUILDINGS, OUTDOOR AREAS, CRAWL SPACES, BASEMENTS, LAUNDRY AREAS, KITCHEN COUNTER-TOPS, AND OUTLETS WITHIN 6 FT OF A SINK MUST BE GFCI PROTECTED. ALSO, SHOWERS, SINKS, OR BATHTUBS WITHIN 6 FT OF THE WATERS EDGE, MUST BE GFCI PROTECTED. GROUND-FAULT CIRCUIT INTERRUPTERS SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION.

- PROVIDE 110V, DUPLEX RECEPTACLE (G.F.I.) @ ELEC. PANEL BOX, VERIFY LOCATION W/ UTILITY CO.
- LIGHTNING PROTECTION IS REQUIRED IN THE VICINITY OF THE ELECTRIC PANEL.
- VOLTAGE DROP ON BRANCH CIRCUITS EXCEEDING 50' MAY REQUIRE ONE OR MORE INCREASES IN WIRE SIZE.
- HEATING CONTRACTOR TO LAYOUT DUCTS AND PROVIDE HEAT LOSS AND GAIN CALCULATIONS, IF REQUIRED BY LOCAL CODES.
- ALL HVAC EQUIPMENT AND DUCTWORK TO COMPLY WITH THE CURRENT IRC MECHANICAL CODE AND TO BE SIZED BY MECHANICAL CONTRACTOR.
- GENERAL CONTRACTOR HAS RIGHT TO SUBSTITUTE EQUAL PRODUCTS FOR THOSE LISTED BASED ON APPROVAL BY THE OWNER / ARCHITECT.
- THE SAME SUPPLIER SHALL BE USED FOR FLOOR SYSTEM AND ROOF TRUSSES. THEY ARE A COMBINED SYSTEM IN THIS HOUSE.
- CONTRACTOR SHALL VERIFY ALL ROUGH OPENINGS FOR DOORS AND WINDOWS BEFORE FRAMING THE OPENINGS.
- SURGE-PROTECTION – PER SECTION E3606.5 OF THE IRC, ALL SERVICES SUPPLYING ONE- AND TWO-FAMILY DWELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTIVE DEVICE (SPD). THE SPD SHALL BE AN INTEGRAL PART OF THE SERVICE EQUIPMENT OR SHALL BE LOCATED IMMEDIATELY ADJACENT THERETO. THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD.
- SUPPLEMENTAL GROUND – PER SECTION E3608.4 OF THE IRC, (ARTICLE 250.53 OF THE NEC), A SUPPLEMENTAL ELECTRODE IS REQUIRED FOR ALL ELECTRICAL SYSTEMS OF ONE OF THE FOLLOWING METHODS: (1) METAL UNDERGROUND WATER PIPE IN DIRECT CONTACT WITH THE EARTH FOR 10FT OR MORE, (2) CONCRETE-ENCASED ELECTRODE NOT LESS THAN 1/2" INCH IN DIAMETER INSTALLED A MINIMUM OF 20 FT LENGTH, (3) GROUND RINGS ENCRING THE BUILDING OR STRUCTURE IN DIRECT CONTACT WITH THE EARTH A MINIMUM OF 30 INCHES BELOW THE SURFACE, (4) ROD OR PIPE ELECTRODES NOT LESS THAN 8FT IN LENGTH AND A MINIMUM DIAMETER OF 3/4" INCHES FOR GALVANIZED OR COATED CORROSION PROTECTION OR A MINIMUM DIAMETER OF 5/8 INCHES FOR STAINLESS STEEL AND COPPER OR ZINC-COATED STEEL.



GROUNDING DETAIL

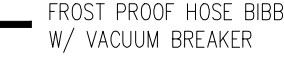
## KEYNOTES

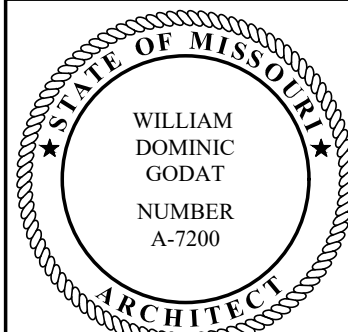
- EXISTING STONE FOUNDATION WALL TO REMAIN.
- EXISTING CONCRETE FOUNDATION WALL WITH FRAMED WALLS TO REMAIN. REBUILD OR REINFORCE IF REQUIRED.
- EXISTING 2x4 EXTERIOR WALL ON EXISTING FOUNDATION TO REMAIN. REBUILD AND REFRAME AS NECESSARY FOR EXISTING FLOOR JOIST BEARING WALL.
- EXISTING FRONT PORCH TO REMAIN.
- EXISTING BRICK WALL TO REMAIN.
- EXISTING CASSED BRICK OPENING TO REMAIN.
- NEW 3 1/2" CONCRETE SLAB OVER 6 MIL POLY VAPOR BARRIER OVER 4" GRANULAR FILL. SLOPE A 3'-0" DIA. CIRCLE TO FLOOR DRAIN.
- RECESS TOP OF FOUNDATION WALL 12" TO RECEIVE SLAB @ MAN DOOR.
- 6" CONCRETE FOUNDATION WALL WITH REINFORCEMENT PER FOUNDATION NOTES. TOP OF WALL TO STEP DOWN WITH GRADE. FOUNDATION TO HAVE (2) CORNER BARS AT EACH CORNER OF HOUSE. 4'-0" LONG #4 BARS TO FORM 90° ANGLE.
- 8" X 20" CONCRETE FOOTING, 36" MIN. BELOW FINISH GRADE.
- TOP OF NEW FOUNDATION WALL TO STEP DOWN WITH GRADE.
- #4's 2'-0" LONG TO BE DRILLED AND EPOXIED INTO EXISTING FOUNDATION @ 2'-0" O.C.
- 3'-0" X 3'-0" X 12" DEEP CONC. PAD W/ (4) #4's EACH WAY.
- 3" 7.58# STEEL PIPE COLUMN.
- STEEL BEAM AS INDICATED WITH 2x4 TOP PLATE.
- (4) 2x6's UNDER END OF BEAM.
- 2x6 BEARING WALL ON TOP OF NEW FOUNDATION WALL.
- ALIGN NEW WALL WITH EXISTING.
- INSTALL ADDITIONAL FLOOR JOISTS UNDER KITCHEN ISLAND AND CABINETS.
- 3 1/2" X 9 1/4" 3100Pb-2.0E I-LEVEL PARALLAM AROUND STAIR OPENING.
- WOOD STAIR WITH WOOD HANDRAIL, 34" TO 38" HIGH.
- WOOD STAIR WITH WOOD HANDRAIL, 34" TO 38" HIGH. VERIFY NUMBER OF TREADS AND RISERS WITH BASEMENT HEIGHT DIFFERENCE. 10" MIN. TREADS WITH 7 3/4" MAX. RISERS.
- 42" HIGH HALF-WALL WITH WOOD CAP.
- FURR EXTERIOR WALL TO ENCLOSE FOUNDATION WALL AND HAVE STRAIGHT WALL TO CEILING ADJACENT TO STAIR.
- 2 x's AT 16" O.C. TO FURR OUT CONCRETE WALL.
- 3 1/2" X 9 1/4" 3100Pb-2.0E I-LEVEL PARALLAM AT FLOOR JOIST LEVEL ACROSS OPENING.
- EXISTING EXTERIOR 2x4 FRAME WALL.
- 22"x36" SCUTLE.
- 2x6 PLUMBING CHASE.
- CANTILEVER ISLAND COUNTERTOP 12" FOR SEATING.
- VENT OVERHEAD EXHAUST HOOD ABOVE STOVE TO EXTERIOR.
- WATER LINE FOR ICE MAKER.
- A.C. POWERED IRC APPROVED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP (INTERCONNECTED) INSTALLED AS PER NFPA 72-93.
- ALL ROOM OUTLETS TO BE PROTECTED BY ARC FULT CIRCUITS.
- 33" X 60" ONE-PIECE FIBERGLASS TUB.
- 36" X 60" ONE-PIECE FIBERGLASS SHOWER.
- EXHAUST FAN MIN. 50 CFM (VENT TO EXTERIOR)
- HOT AND COLD WATER, 2" LAUNDRY DRAIN, 110V AND 220V ELECTRIC SERVICE, AND DRYER VENTED TO EXTERIOR.
- FREEZE PROOF HOSE BIBB W/ VACUUM BREAKER.
- COMMERCIAL GRADE FLOOR OUTLET, OR WALL MOUNTED OUTLET. VERIFY WITH OWNER.
- ILLUMINATED LIGHT SWITCH.
- ELECTRICAL PANEL WITH SURGE PROTECTIVE DEVICE. VERIFY LOCATION W/ OWNER & UTILITY CO.
- FURNACE WITH A/C. SIZE AND DUCT LAYOUT BY HVAC CONTRACTOR.
- 50 GALLON ELECTRIC WATER HEATER.
- FLOOR DRAIN.
- OPTIONAL FURNACE AND WATER HEATER LOCATION.
- EXISTING BASEMENT HEAD HEIGHT IS APPROXIMATELY 71".
- INFILL FORMER STAIR OPENING WITH WOOD FLOOR AND FLOOR JOISTS TO MATCH EXISTING.
- FROST BATHROOM GLASS.

## GENERAL PLAN NOTES

- CONTRACTORS SHALL ABIDE BY THE 2021 IRC CODE, 2020 NEC, AND ALL LOCAL CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS – FOLLOW WRITTEN DIMENSIONS.
- DIMENSIONS SHOWN ARE TO FACE OF STUD, FACE OF SHEATHING, OR FACE OF CONCRETE.
- MAIN FLOOR CEILING HEIGHT IS 10'-1 1/2". BASEMENT TO BE 9' BASEMENT. VERIFY WITH SITE CONDITIONS.
- BASEMENT EXTERIOR WALLS SHALL BE 2x6 STUD WALLS WITH 7/16" OSB SHEATHING. MAIN FLOOR EXTERIOR WALLS SHALL BE 2x4 STUD WALLS WITH 7/16" OSB SHEATHING.
- TOP OF LOWER FLOOR WINDOWS AT 7'-0" A.F.F. TOP OF MAIN FLOOR WINDOWS AT 8'-0" A.F.F.
- TRUSS DRAWINGS SHALL BE SUBMITTED TO COORDINATE WITH THESE DRAWINGS. ASSUME NO INTERIOR BEARING WALLS UNLESS NOTED.
- (3) 2 X's AT BEARING POINTS FOR EACH GIRDER TRUSS UNLESS NOTED OTHERWISE.
- ALL DIMENSIONED LUMBER SHALL BE NO. 2 SOUTHERN PINE OR EQUAL UNLESS NOTED OTHERWISE.
- ALL HEADERS ABOVE DOORS AND WINDOWS SHALL BE (2) 2x12's UNLESS NOTED OTHERWISE.
- VERIFY DIMENSIONS OF ALL EQUIPMENT INCLUDING SHOWERS, BATHS, ETC. WITH OWNER TO VERIFY CLEARANCES REQUIRED.
- OUTLETS AT ALL HABITABLE ROOMS TO BE SPACED AT 12'-0" O.C. MAX.
- CABINET MAKER TO FIELD VERIFY ALL CONDITIONS PRIOR TO SHIPMENT OF ALL CASEWORK AND COUNTERTOPS.
- VERIFY DIMENSIONS OF ALL EQUIPMENT INCLUDING SHOWERS, BATHS, ETC. WITH OWNER TO VERIFY CLEARANCES REQUIRED.
- INSTALL A GRINDER PUMP SYSTEM FOR HOUSE ON SITE.

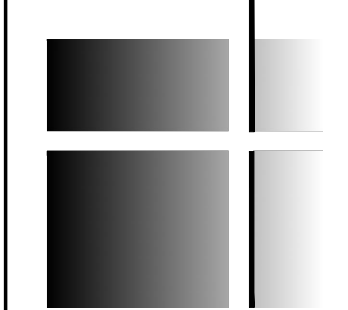
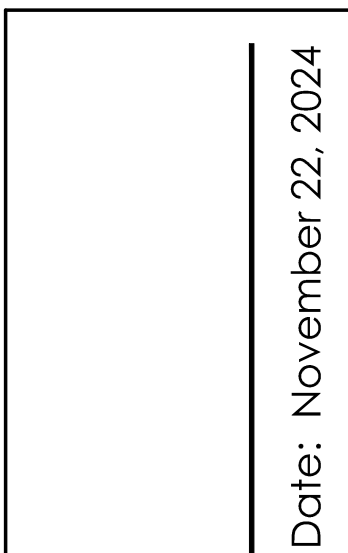
## SYMBOLS LEGEND

- |                                                                                       |                                                                                       |                                                                                       |
|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
|  | \$ LIGHT SWITCH                                                                       |  |
|  | \$ 3 WAY LIGHT SWITCH                                                                 |  |
|  |  |  |
|  |  |  |
|  |  |  |
|                                                                                       |  |  |
|                                                                                       |  |  |



WILLIAM D. GODAT  
MISSOURI REGISTERED ARCHITECT  
NUMBER A-7200

**Godat**  
ARCHITECTURAL DESIGN SERVICES, LLC  
1026 Stone Hill Highway, Hermann, MO 65041  
godatarchitect@att.net 573.486.3080  
ASSISTANT CONTACT: 573.486.3080



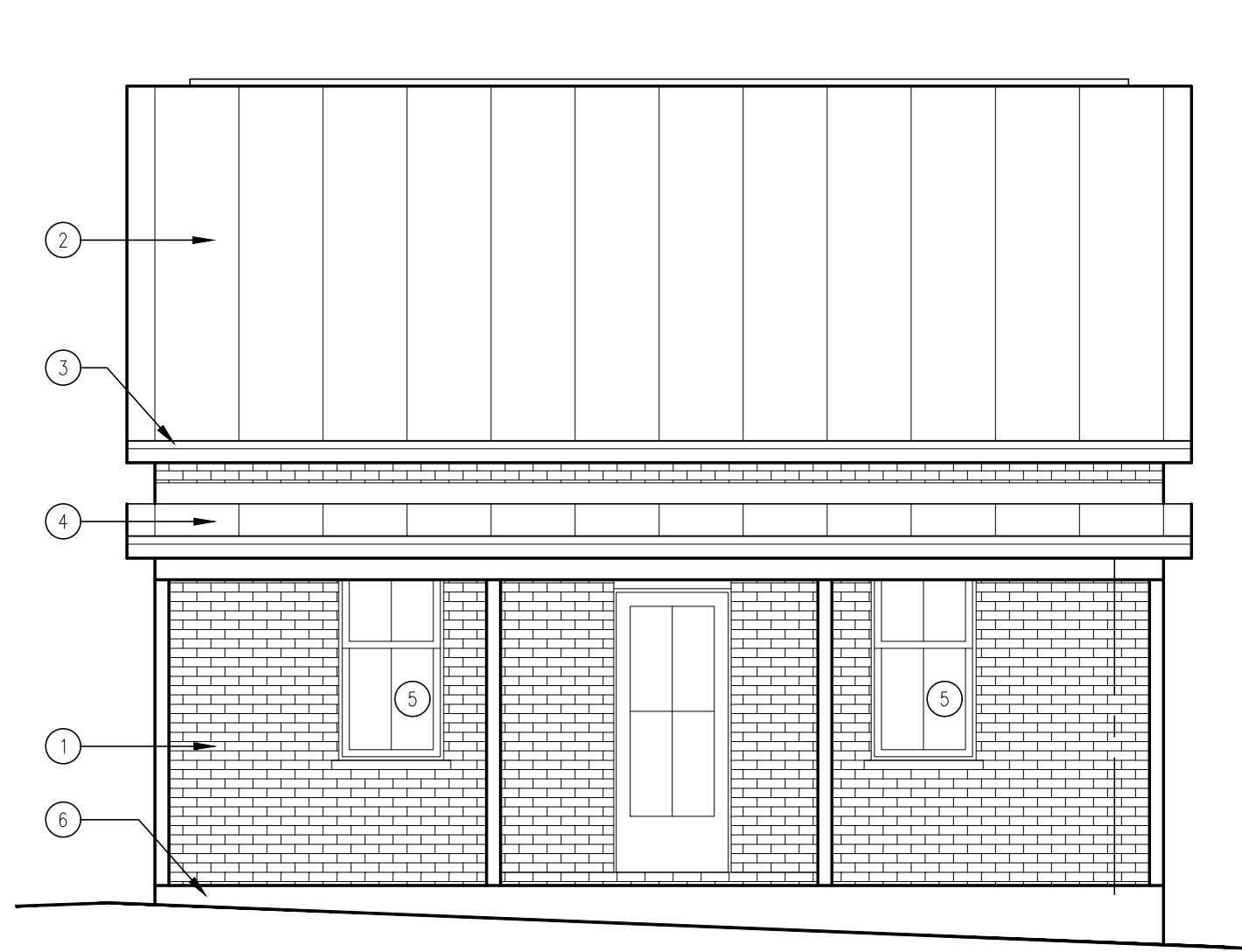
SHEET  
**A1**  
OF 2

Home Renovation and Addition for:

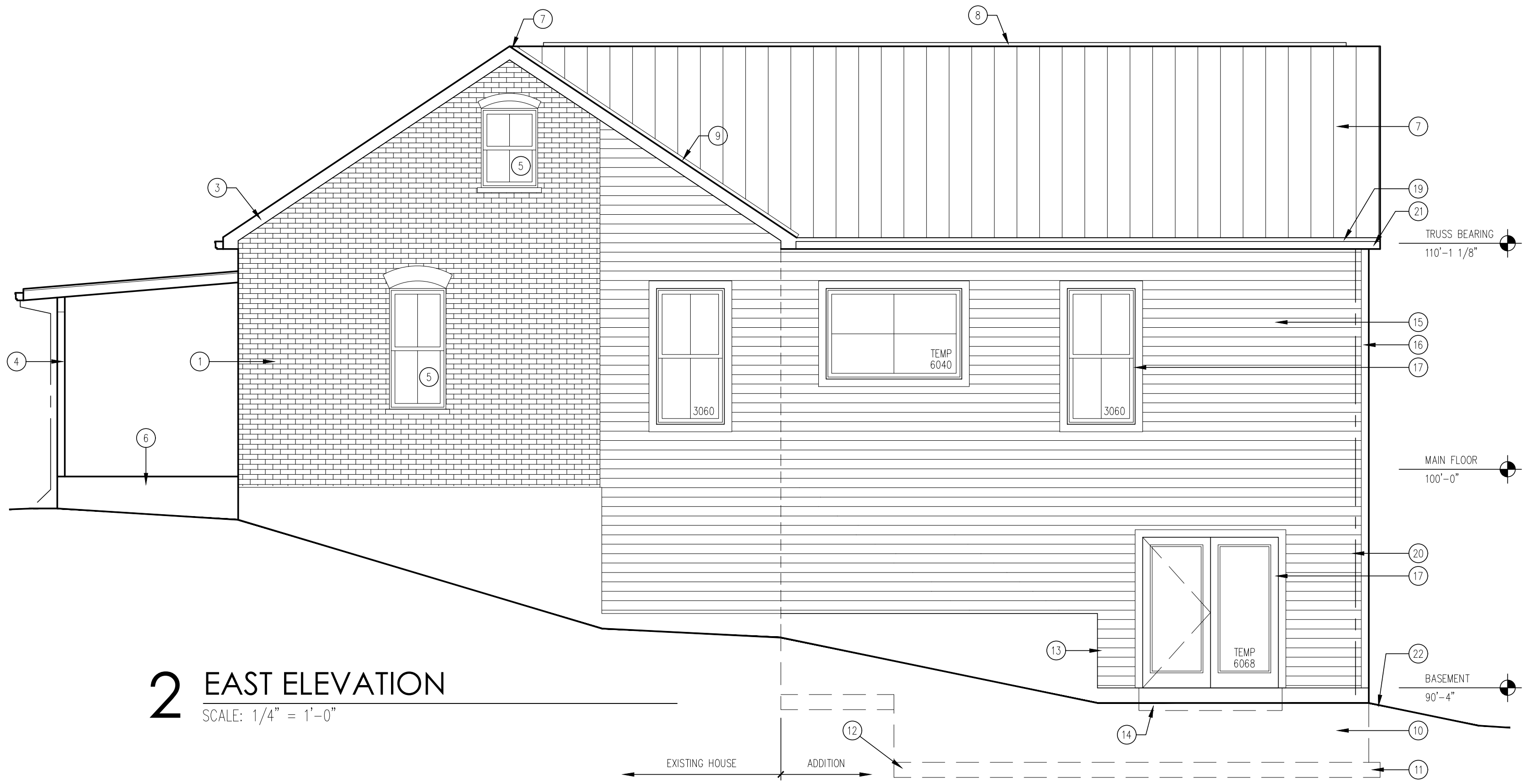
JSL Holdings LLC

121 W 4th Street, Hermann, MO 65041

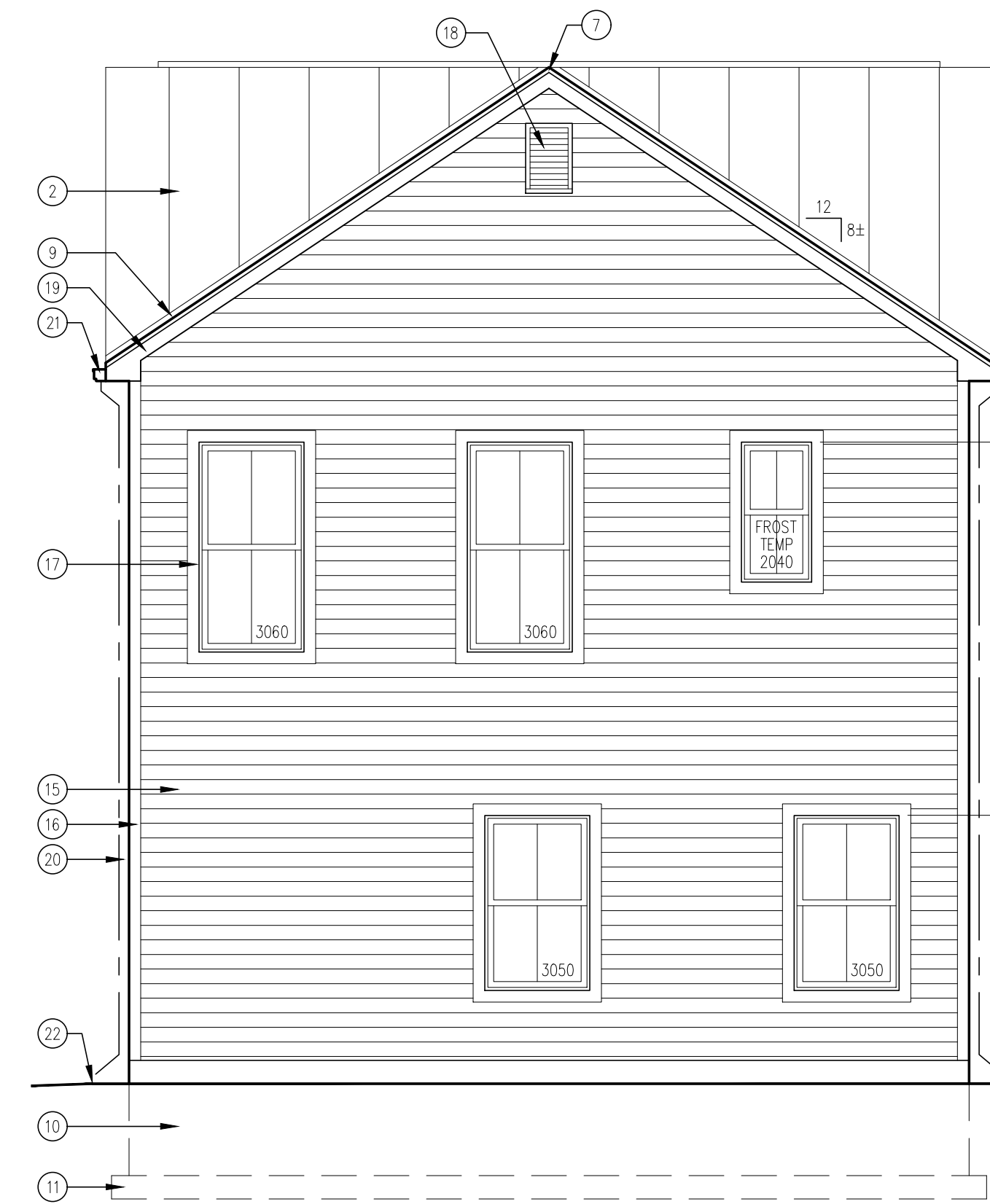
Date: November 22, 2024



1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



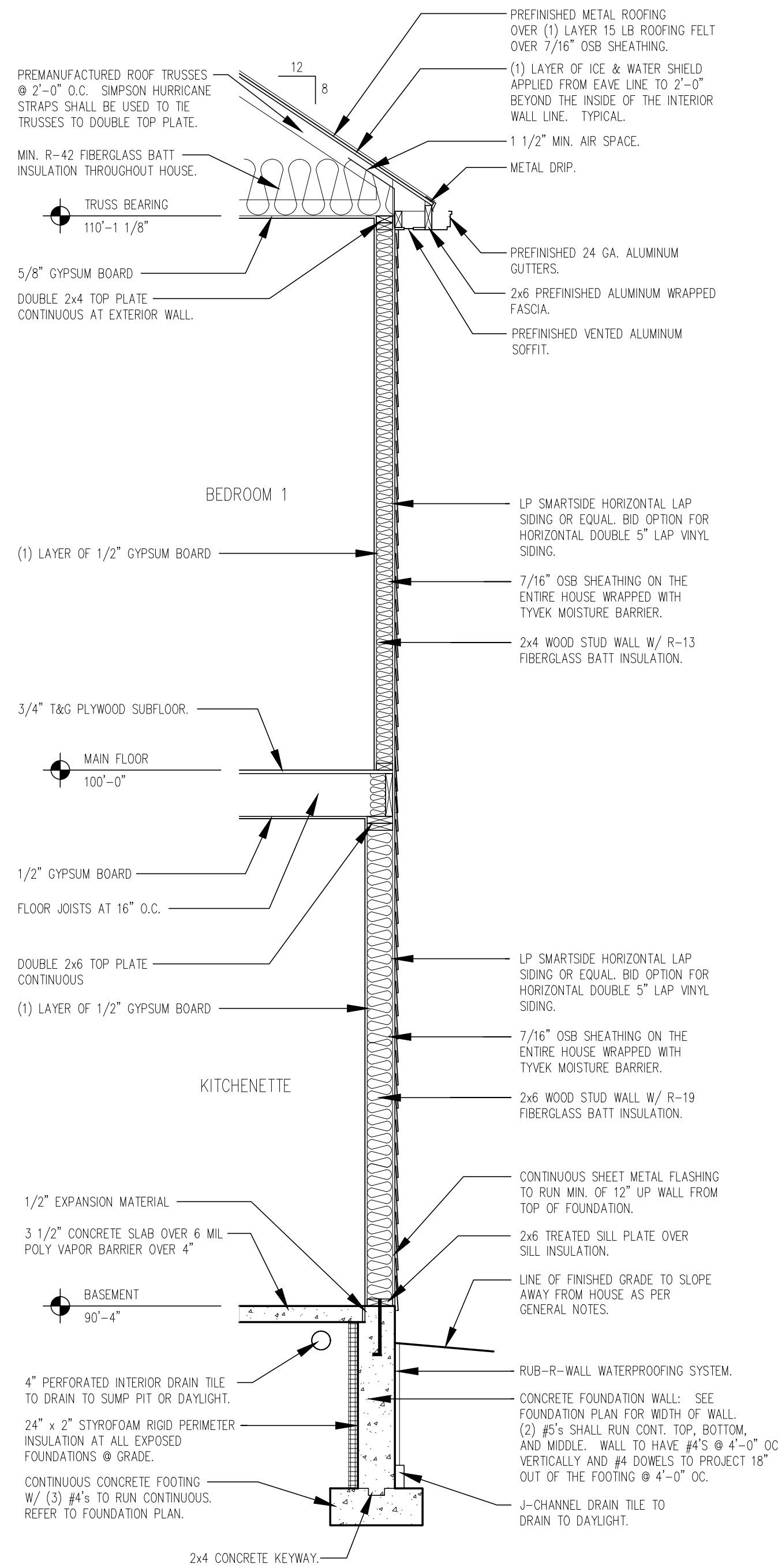
4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

## KEYNOTES

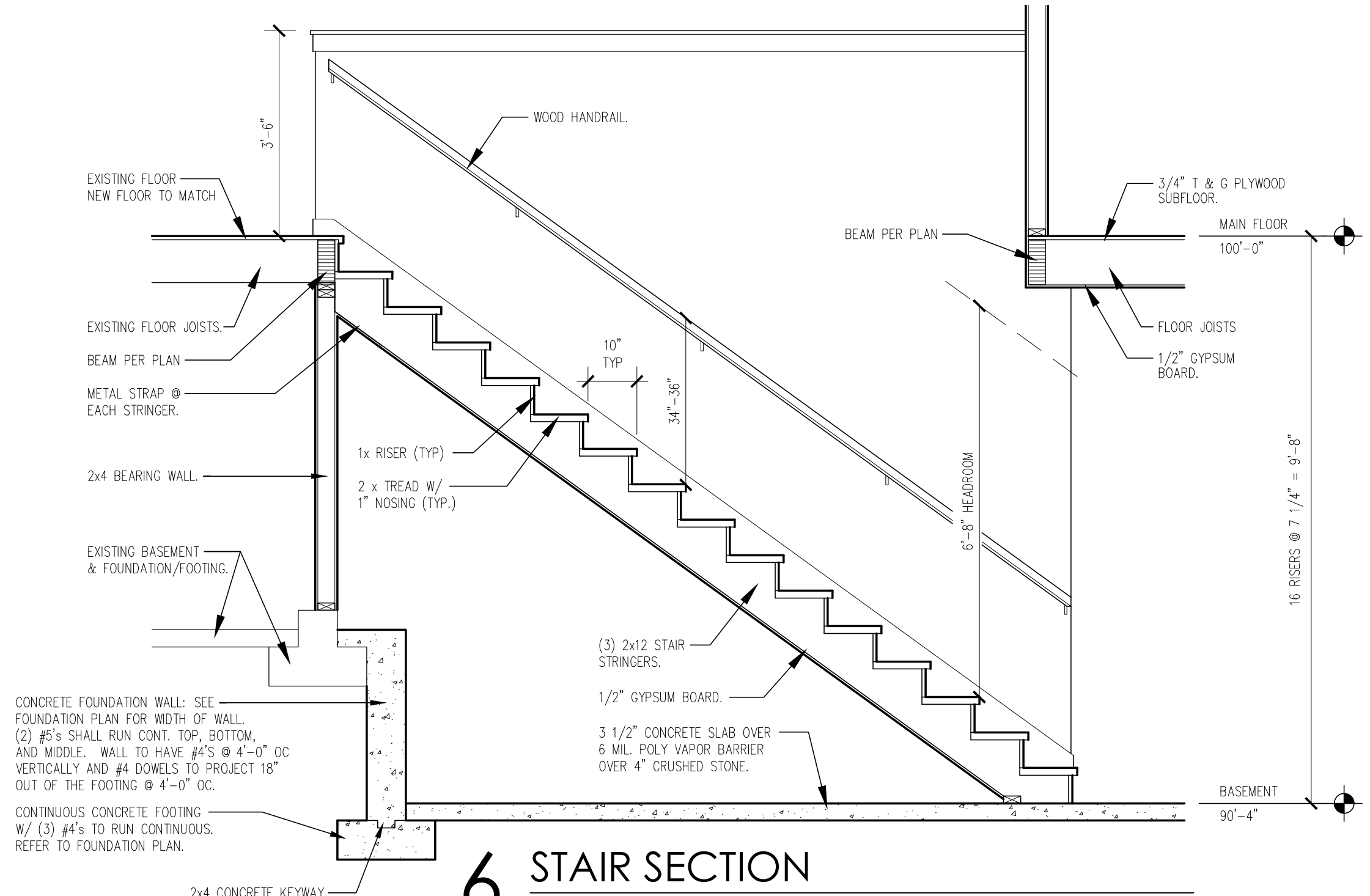
- EXISTING BRICK HOUSE.
- EXISTING METAL HOUSE ROOF.
- EXISTING ROOF FASCIA AND OVERHANG.
- EXISTING PORCH POSTS AND PORCH ROOF TO REMAIN.
- REPLACE EXISTING WINDOW WITH NEW WINDOW.
- EXISTING CONCRETE PORCH.
- PREFINISHED METAL ROOF OVER (1) LAYER OF 15 LB. ROOFING FELT OVER 7/16" OSB SHEATHING. MAKE SURE TOP OF NEW ROOF DOES NOT GO OVER EXISTING HOUSE ROOF. MODIFY NEW ROOF SLOPE AS NECESSARY.
- CONTINUOUS RIDGE VENT.
- FLASHING AT ROOF VALLEYS.
- POURED FOUNDATION WALL (TYP.).
- CONTINUOUS CONCRETE FOOTING. SEE FOUNDATION PLAN FOR REQUIREMENTS.
- STEP FOOTING DOWN AS REQUIRED BY GRADE AND AT WALK-OUT BASEMENT.
- STEP TOP OF FOUNDATION WALL DOWN WITH GRADE. VERIFY LOCATION WITH GRADE.
- RECESS TOP OF FOUNDATION WALL 12" TO RECEIVE SLAB @ MAIN DOOR.
- LP SMARTSIDE HORIZONTAL LAP SIDING OR EQUAL. BID OPTION FOR VINYL SIDING.
- 4" LP SMARTSIDE CORNER TRIM. BID OPTION FOR VINYL CORNER TRIM.
- 4" LP SMARTSIDE DOORS AND WINDOW TRIM. BID OPTION FOR 1 1/4" VINYL TRIM.
- 18"x24" CABLE VENT, OPEN.
- 2x6 PREFINISHED ALUMINUM WRAPPED FASCIA. MATCH EXISTING OVERHANG.
- PREFINISHED ALUMINUM DOWNSPOUT.
- PREFINISHED ALUMINUM GUTTER.
- SLOPE FINISH GRADE AWAY FROM HOUSE A MIN. 1" FT. FOR A DISTANCE OF 8'-0" OR TO A SWALE. VERIFY ACTUAL GRADE CONDITIONS @ SITE.
- 
- 

## GENERAL NOTES

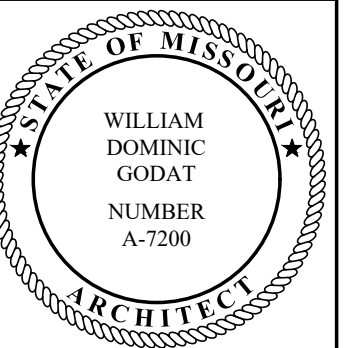
- CONTRACTORS SHALL ABIDE BY THE 2021 IRC CODE, 2020 NEC, AND ALL LOCAL CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS - FOLLOW WRITTEN DIMENSIONS.
- TOP OF LOWER LEVEL WINDOWS TO BE 7'-0" A.F.F. UNLESS NOTED OTHERWISE. TOP OF MAIN LEVEL WINDOWS TO BE 8'-0" A.F.F. UNLESS NOTED OTHERWISE.



5 WALL SECTION  
SCALE: 1/2" = 1'-0"

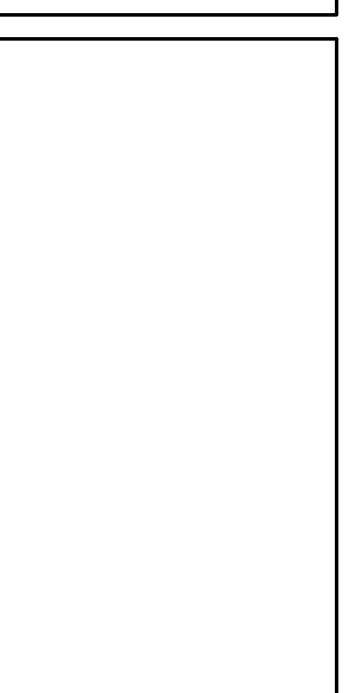


6 STAIR SECTION  
SCALE: 1/2" = 1'-0"



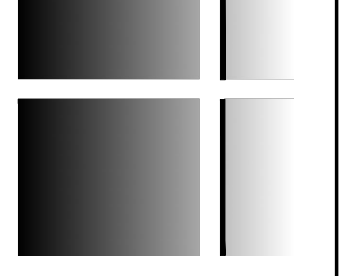
WILLIAM D. GODAT  
MISSOURI REGISTERED ARCHITECT  
NUMBER A-7200

**Godat**  
ARCHITECTURAL DESIGN SERVICES, LLC  
1026 Stone Hill Highway, Hermann, MO 65041  
godatarchitect@att.net  
573.486.3080  
CONSULTANT CONTRACT OR AGENCY REPRESENTATIVE



Date: November 22, 2024

Home Renovation and Addition for:  
**JSL Holdings LLC**  
121 W 4th Street, Hermann, MO 65041



SHEET  
**A2**  
OF 2