

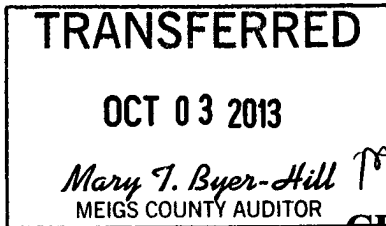
This Conveyance has been examined
and the Grantor has complied with
Section 319.202 of the Revised Code.

FEE \$ 220.00 m

EXEMPT

MARY T. BYER-HILL, County Auditor

201300002539
Filed for Record in
MEIGS COUNTY, OHIO
KAY HILL, RECORDER
10-03-2013 At 02:00 PM.
DEED 28.00
OR Book 352 Page 696 - 697



201300002539
ARROW TITLE AGENCY LLC
239 EAST MAIN STREET
JACKSON OH 45640

GENERAL WARRANTY DEED

For valuable consideration hereunto received, be it known that the Grantor herein:

CHRISTOPHER JUDE,

Who is a married individual, and whose spouse is signing herein to release dower rights, hereby grants and assigns with general warranty covenants, any and all interest in the real property identified below, to:

TIMOTHY M. SPIRES JR.,

The tax-bill mailing address for the grantee will be 30552 State Route 325, Vinton, OH. The real property being conveyed by this Deed is more fully described as:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

Property Tax ID: 13-00728-000

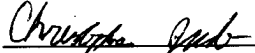
Property Address: 30552 State Route 325, Vinton, OH 45686

Last Deed Ref: OR Vol. 189, Page 947 of the Official Records of Meigs County

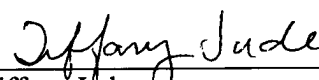
The foregoing real property is granted by the Grantor and accepted by the Grantee subject to all the recorded reservations, conditions, limitations, highways, public roads, rights-of-way, leases, easements, restrictions, zoning ordinances, and any mineral rights severances, as well as real estate taxes and assessments both general and special, which are a lien but not yet due and payable.

And for valuable consideration received, Tiffany Jude, the spouse of Christopher Jude, does hereby remise, release and forever quit-claim unto the grantee herein, his heirs and assigns, all his right and expectancy of Dower in the above described premises.

The Grantor herein has read this Deed and hereby acknowledges the voluntary signing hereof.



Christopher Jude



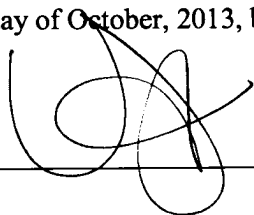
Tiffany Jude

State of Ohio)
County of Meigs) ss.

The foregoing instrument was acknowledged before me on this 1 day of October, 2013, by Christopher Jude and Tiffany Jude.



YOLANDA L. COLLIER
NOTARY PUBLIC, STATE OF OHIO
MY COMMISSION EXPIRES 02-14-15



Notary Public

Arrow File #6-6939

This instrument prepared by:
Jonathan Holfinger, Esq
4200 Regent Street, Suite 210
Columbus, OH 43219

After recording, return to:
Arrow Title Agency
4200 Regent Street, Suite 210
Columbus, OH 43219

EXHIBIT "A"
(Arrow Title File #6-6939)

Situated in the Township of Salem, County of Meigs and State of Ohio, and in Section 24, Town 7, Range 15 of the Ohio Company's Purchase, described as: Beginning at the SE corner of the SW 1/4 of said Section 24; thence N. 1 deg 20' E. along the mid section line 509 feet to a post which is the SE corner of an 86 square rod tract of land described in deed recorded in Volume 220, Page 607 of the Deed Records of Meigs County, Ohio; thence N. 63 deg. 40' W. 217 feet along the south line of the said 86 square rod tract of land to the centerline of State Route 325 as it exists on February 20, 1976; thence southwesterly, along the centerline of State Route 325, 868 feet to the point where the centerline of State Route 325 intersects the south line of said Section 24, thence east, along the south line of said Section 24, 810 feet to the place of beginning, **containing 7.25 acres**, more or less. **EXCEPTING** from the above described real estate the No. Four, Four A, Clarion or Limestone Coal, with appurtenant mining rights, which have heretofore been conveyed to the Ohio Power Company by deed in Volume 214, Page 26, of the Deed Records of Meigs County, Ohio.

Being the same property conveyed to Jack Williams, married, by Deed dated February 6, 2004, of record in Deed Book 187, Page 327, in the Office aforesaid. (Being the same property conveyed to Travis and Amy Bias, by Deed dated 1997, of record in Deed Book 103, Page 903, in the Office aforesaid.)

Subject to covenants, easements, restrictions of record, if any, and subject to real estate taxes and installments of assessments, if any, not delinquent on the date hereof, all of which the grantee assumes and agrees to pay.

Parcel No. 13-00728-000

Prior Deed Reference: OR Vol. 189, Page 947 of the Meigs County, Ohio records